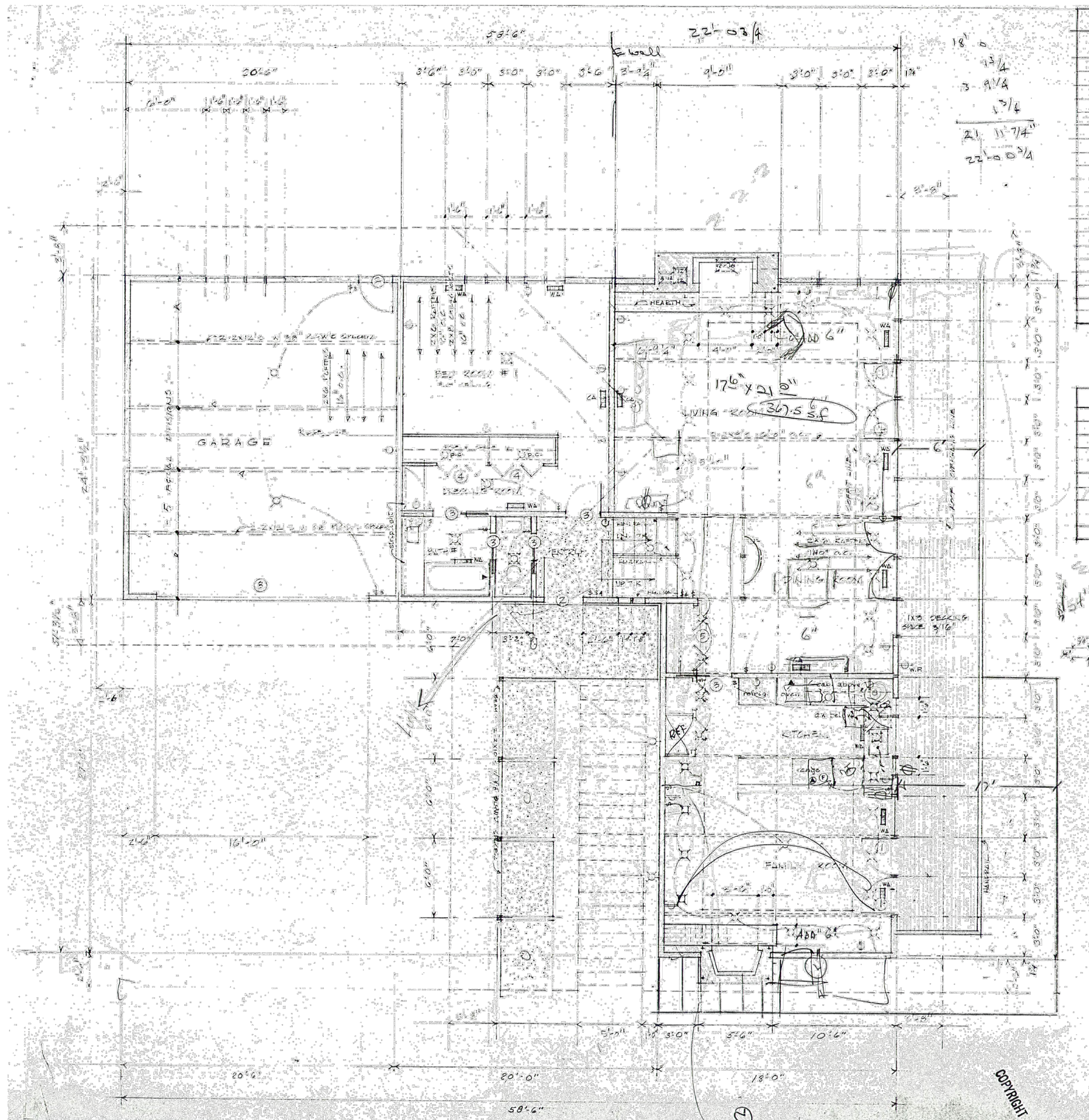


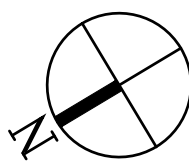


MORGAN-HORNSBY RESIDENCE

Remodel/Addition
6405 W. Mercer Way
Mercer Island, WA 98040



Graphic Scale



Project North

1 Main Floor As-Built

scale: 1/4"=1'-0"

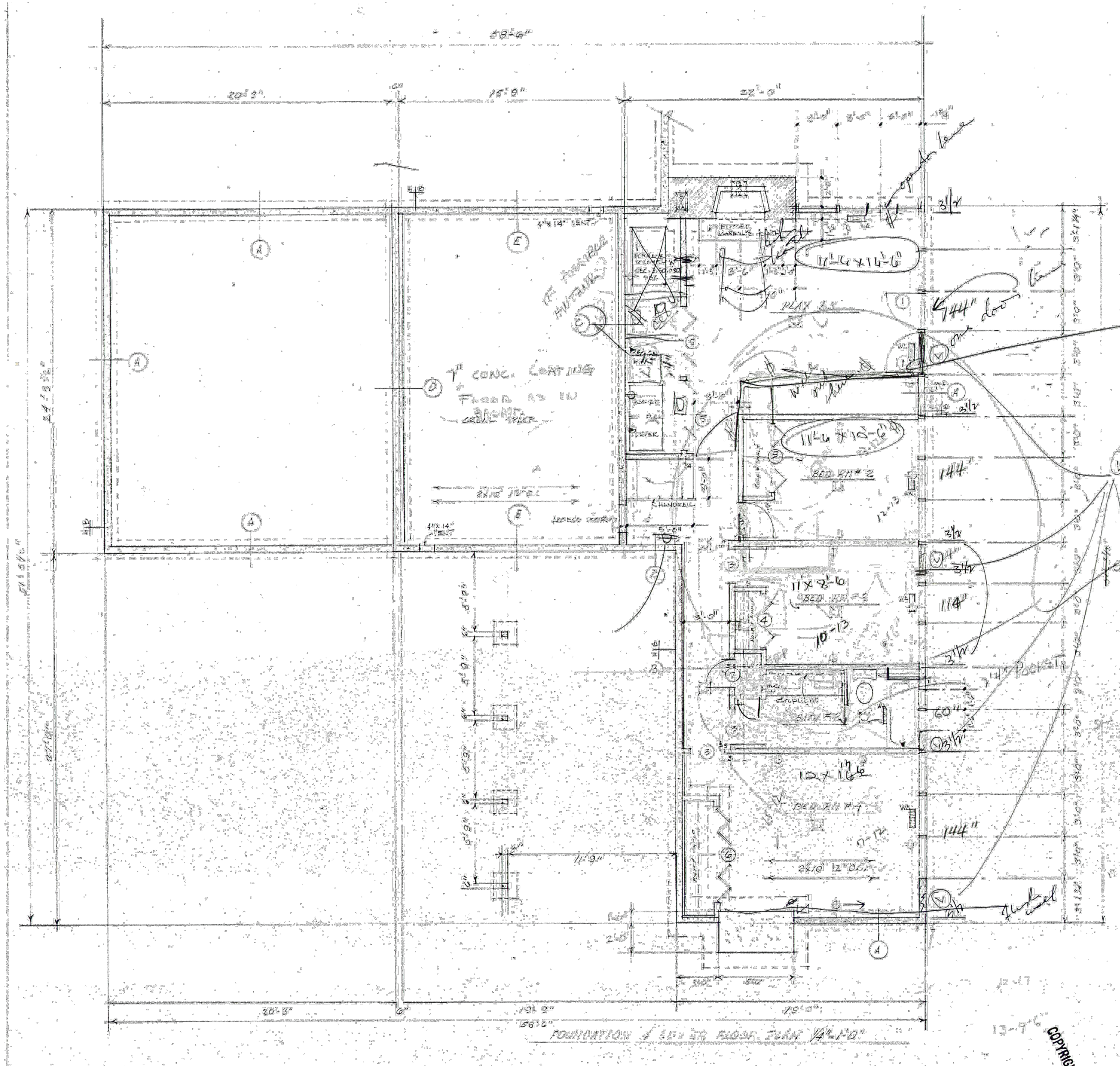
Date:
1 October 2022 Sub 1

Scale:

Sheet:

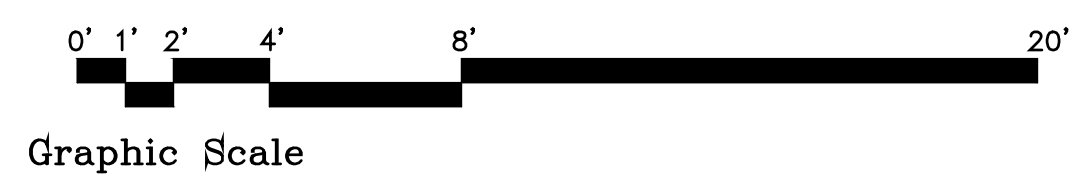
As -Builts

AB.1



MORGAN-HORNSBY RESIDENCE

Remodel/Addition
6405 W. Mercer Way
Mercer Island, WA 98040



1 Lower Floor As-Built
scale: 1/4"=1'-0"

Date:
1 October 2022 Sub 1

Scale:

Sheet:

As -Builts

AB.2

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

THAT PORTION OF THE NORTH 100 FEET OF GOVERNMENT LOT 1, SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M. IN KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIPE MONUMENT AT THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 1 WITH THE CENTERLINE OF LAKE VIEW DRIVE "77TH AVENUE SOUTHEAST" AS LOCATED IN PLAT OF LAKE VIEW HIGHLANDS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 33 OF PLATS, PAGE 34, RECORDS OF KING COUNTY, WASHINGTON;

THENCE EAST ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 1 A DISTANCE OF 516.84 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 6° 40' 05" WEST A DISTANCE OF 100.68 FEET TO A POINT ON A LINE WHICH IS 100 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO THE NORTH LINE OF SAID GOVERNMENT LOT 1;

THENCE EAST ON A LINE PARALLEL WITH THE NORTH LINE OF SAID GOVERNMENT LOT 1 FOR A DISTANCE OF 181.46 FEET, MORE OR LESS, TO A POINT OF INTERSECTION WITH THE WEST BOUNDARY LINE OF WEST MERCER WAY;

THENCE NORTHEASTERLY ALONG THE WEST BOUNDARY LINE OF WEST MERCER WAY TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID GOVERNMENT LOT 1;

THENCE WEST ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 1, A DISTANCE OF 233.42 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

NAD83/91 PER CITY OF MERCER ISLAND CONTROL POINTS, HELD A BEARING OF N 12°36'35" E BETWEEN FOUND MONUMENTS ON CENTERLINE OF 77TH AVE SE.

REFERENCES

- R1. REPLAT OF LAKE VIEW HIGHLANDS, VOL. 76, PGS. 41-42, RECORDS OF KING COUNTY, WASHINGTON.
- R2. MERCER RIDGE, VOL. 61, PGS. 44-45, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

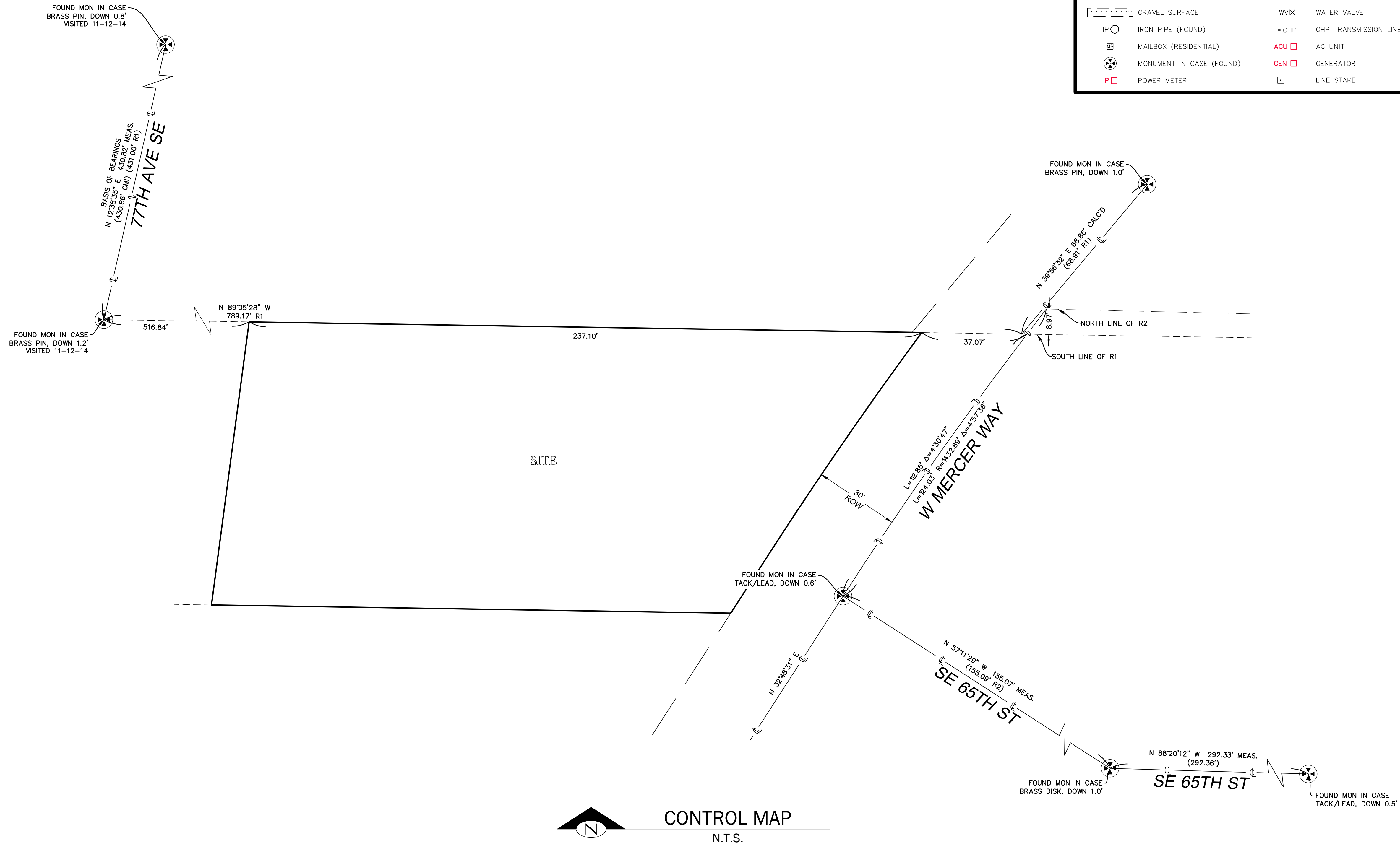
NAVD88 PER CITY OF MERCER ISLAND BENCHMARK 3114.

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 2524049037.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 20,922± S.F. (0.48 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN COMMONWEALTH LAND TITLE INSURANCE COMPANY, COMMITMENT NO. 780601RT, WITH AN EFFECTIVE DATE OF JANUARY 12, 2021 AND THAT ALL EASEMENTS, COVENANTS, AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

VICINITY MAP

N.T.S.



SCHEDULE B ITEMS

10. EASEMENT AND THE TERMS AND CONDITIONS THEREOF: GRANTEE: PUGET SOUND POWER & LIGHT COMPANY PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE(S) AREA AFFECTED: A PORTION OF SAID PREMISES RECORDED: SEPTEMBER 12, 1940 RECORDING NO.: 3120995 (FALLS WEST OF SITE, NOT PLOTTED)
11. MUTUAL RELEASE AND RESTRICTIVE COVENANT AND THE TERMS AND CONDITIONS THEREOF: RECORDED: OCTOBER 23, 1968 RECORDING NO.: 6424232 AND AMENDMENTS THERETO: RECORDING NO(S): 20130719001510 AND 20140312000313 (BLANKET IN NATURE)

LEGEND

[Symbol]	ASPHALT SURFACE	[Symbol]	POWER (OVERHEAD)
[Symbol]	BRICK SURFACE	[Symbol]	POWER POLE
[Symbol]	BUILDING	[Symbol]	POWER POLE W/ LIGHT
[Symbol]	CENTERLINE ROW	[Symbol]	REBAR AS NOTED (FOUND)
[Symbol]	CULVERT PIPE	[Symbol]	REBAR & CAP (SET)
[Symbol]	CONCRETE SURFACE	[Symbol]	SEWER LINE
[Symbol]	RETAINING WALL	[Symbol]	SEWER MANHOLE
[Symbol]	DECK	[Symbol]	TELEPHONE HAND HOLE
[Symbol]	FENCE LINE (CHAIN LINK)	[Symbol]	TELEPHONE SENTRY
[Symbol]	FENCE LINE (WOOD)	[Symbol]	SIZE TYPE TREE (AS NOTED)
[Symbol]	GAS LINE	[Symbol]	WATER LINE
[Symbol]	GAS METER	[Symbol]	WATER METER
[Symbol]	GRAVEL SURFACE	[Symbol]	WATER VALVE
[Symbol]	IRON PIPE (FOUND)	[Symbol]	DHPT OHP TRANSMISSION LINE
[Symbol]	MAILBOX (RESIDENTIAL)	[Symbol]	AC UNIT
[Symbol]	MONUMENT IN CASE (FOUND)	[Symbol]	GENERATOR
[Symbol]	POWER METER	[Symbol]	LINE STAKE

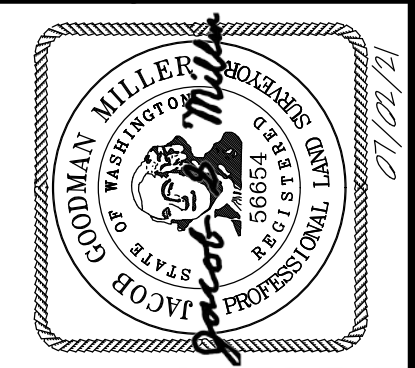
STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION

[Symbol]	NW 1/4	NE 1/4
[Symbol]	SECTION: 25	
[Symbol]	TOWNSHIP: 24N	
[Symbol]	RANGE: 04E, W.M.	
[Symbol]	COUNTY: KING	

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 2524049037
 HORNSBY RESIDENCE
 6405 W MERCER WAY
 MERCER ISLAND, WA 98040

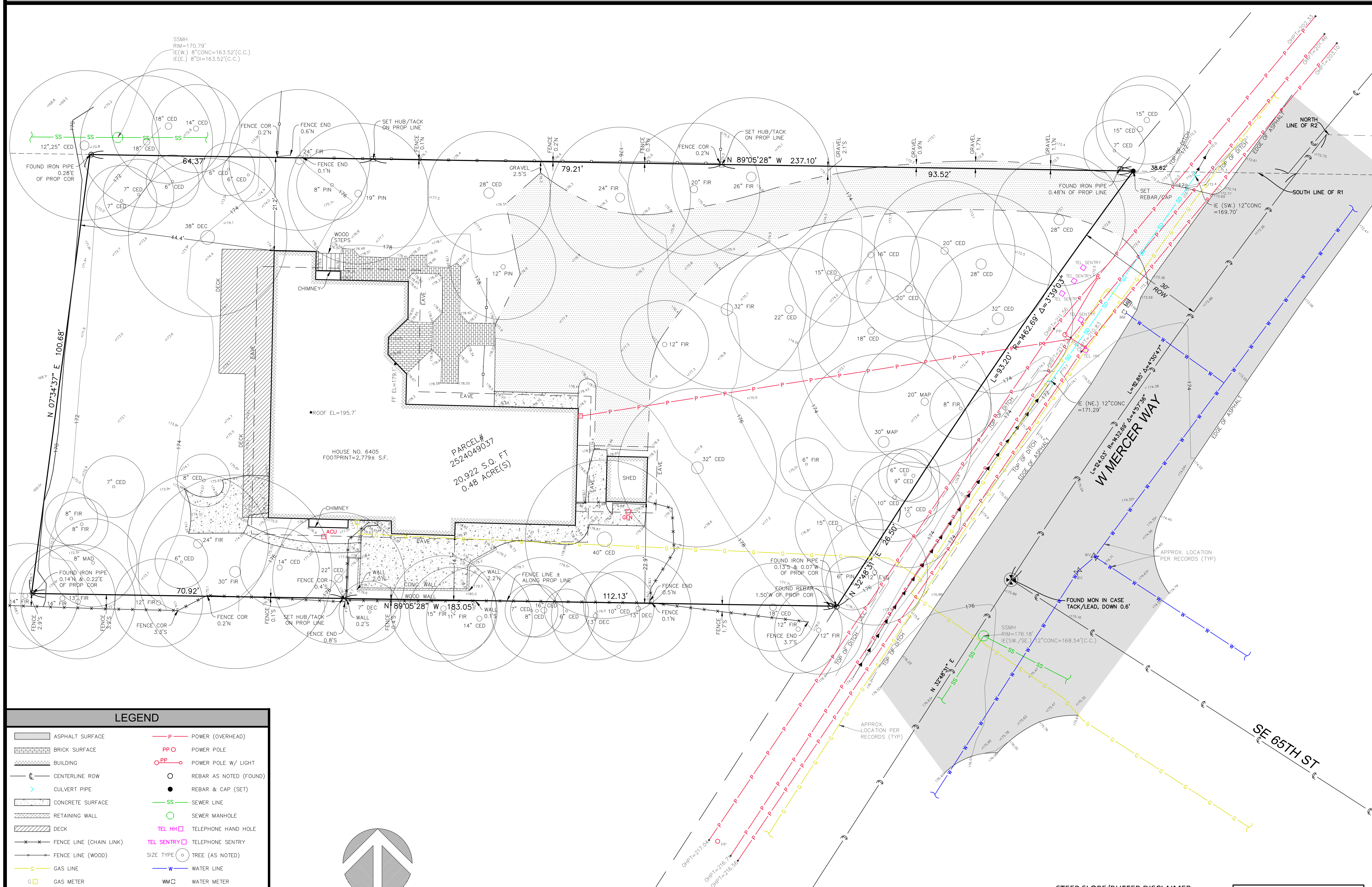


Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	210974
DATE:	07/02/2021
DRAFTED BY:	RSN
CHECKED BY:	JGM
SCALE:	N.T.S.
REVISION HISTORY	
SHEET NUMBER	
1 OF 2	

TOPOGRAPHIC & BOUNDARY SURVEY

measure success



SMMH
RIM=170.79'
E(W.) 8"CONC=163.52'(C.C.)
E(E.) 8"DI=163.52'(C.C.)

PARCEL#
2524049037
20,922 S.Q. FT
0.48 ACRE(S)

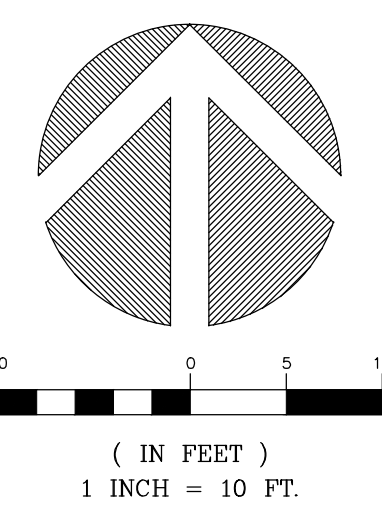
HOUSE NO. 6405
FOOTPRINT=2,779± S.F.

W MERCER WAY
L=24.03° R=462.89 Δ=339.03°
L=16.85° R=462.89 Δ=394.47°

SE 65TH ST

LEGEND

	ASPHALT SURFACE		POWER (OVERHEAD)
	BRICK SURFACE		POWER POLE
	BUILDING		POWER POLE W/ LIGHT
	CENTERLINE ROW		REBAR AS NOTED (FOUND)
	CULVERT PIPE		REBAR & CAP (SET)
	CONCRETE SURFACE		SEWER LINE
	RETAINING WALL		SEWER MANHOLE
	DECK		TELEPHONE HAND HOLE
	FENCE LINE (CHAIN LINK)		TELEPHONE SENTRY
	FENCE LINE (WOOD)		TREE (AS NOTED)
	GAS LINE		WATER LINE
	GAS METER		WATER METER
	GRAVEL SURFACE		WATER VALVE
	IRON PIPE (FOUND)		OHP TRANSMISSION LINE
	MAILBOX (RESIDENTIAL)		AC UNIT
	MONUMENT IN CASE (FOUND)		GENERATOR
	POWER METER		LINE STAKE



STEEP SLOPE/BUFFER DISCLAIMER:
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INDEXING INFORMATION	
NW 1/4	NE 1/4
SECTION: 25	TOWNSHIP: 24N
RANGE: 04E, W.M.	COUNTY: KING

TOPOGRAPHIC & BOUNDARY SURVEY

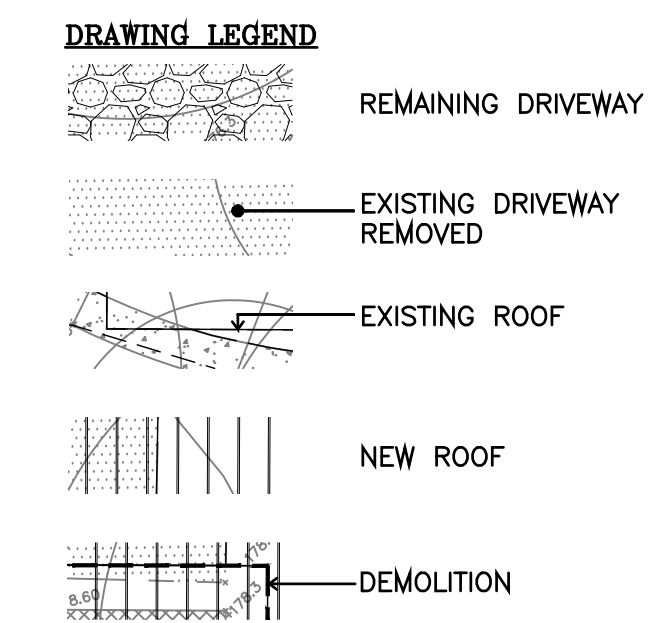
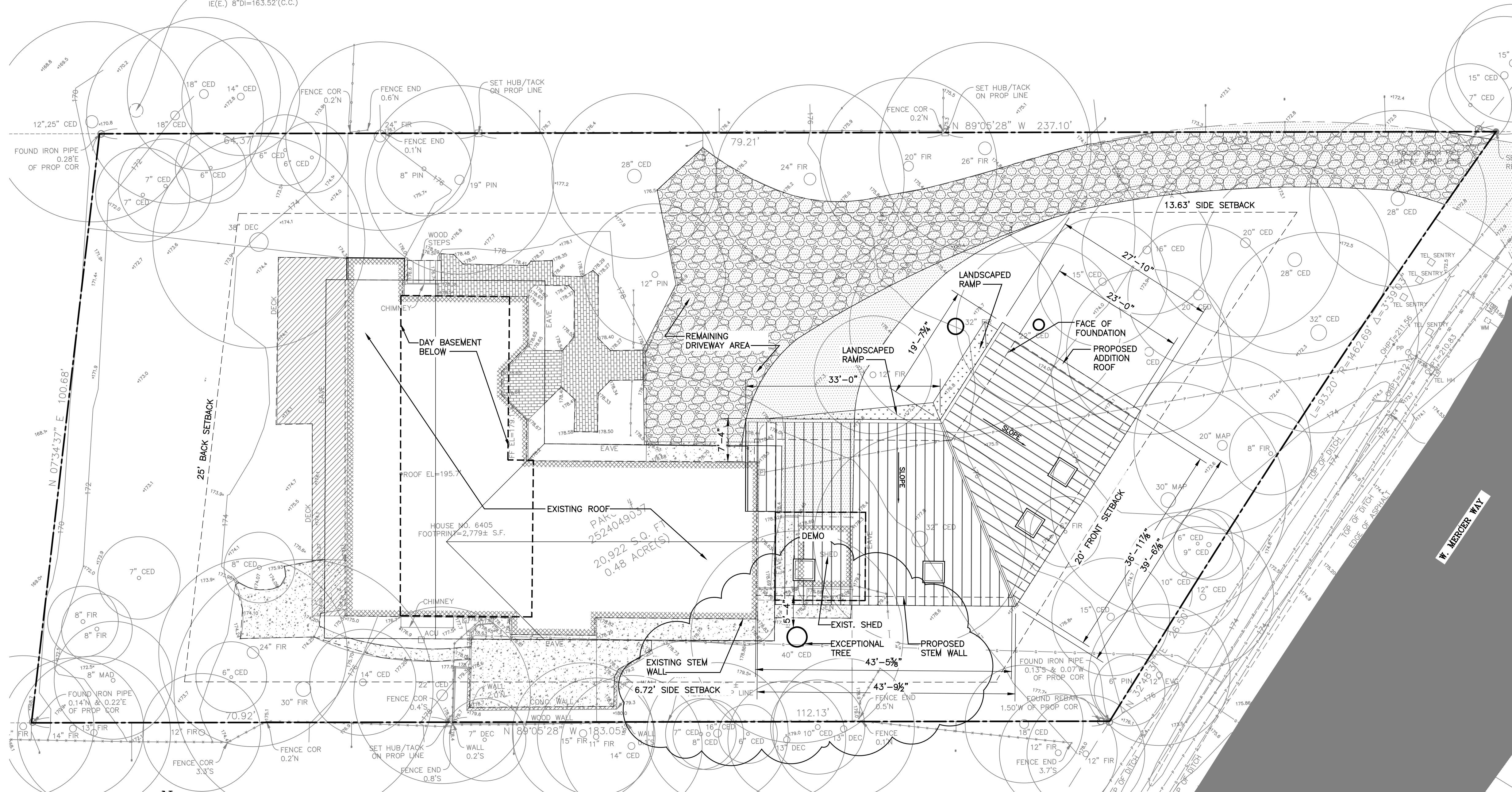
PARCEL NO. 2524049037
HORNSBY RESIDENCE
6405 W MERCER WAY
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	210974
DATE:	07/02/2021
DRAFTED BY:	RSN
CHECKED BY:	JGM
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	2 OF 2

SSMH
RIM=170.79'
IE(W.) 8" CONC=163.52'(C.C.)
IE(E.) 8" DI=163.52'(C.C.)



ECTYPOS ARCHITECTURE

4212 W. Mercer Way
Mercer Island, WA 98040
t. (206) 232-9147
f. (206) 275-0312

7785 REGISTERED ARCHITECT
LUCIA PIRZIO-BIROLI
STATE OF WASHINGTON

MORGAN-HORNSBY RESIDENCE

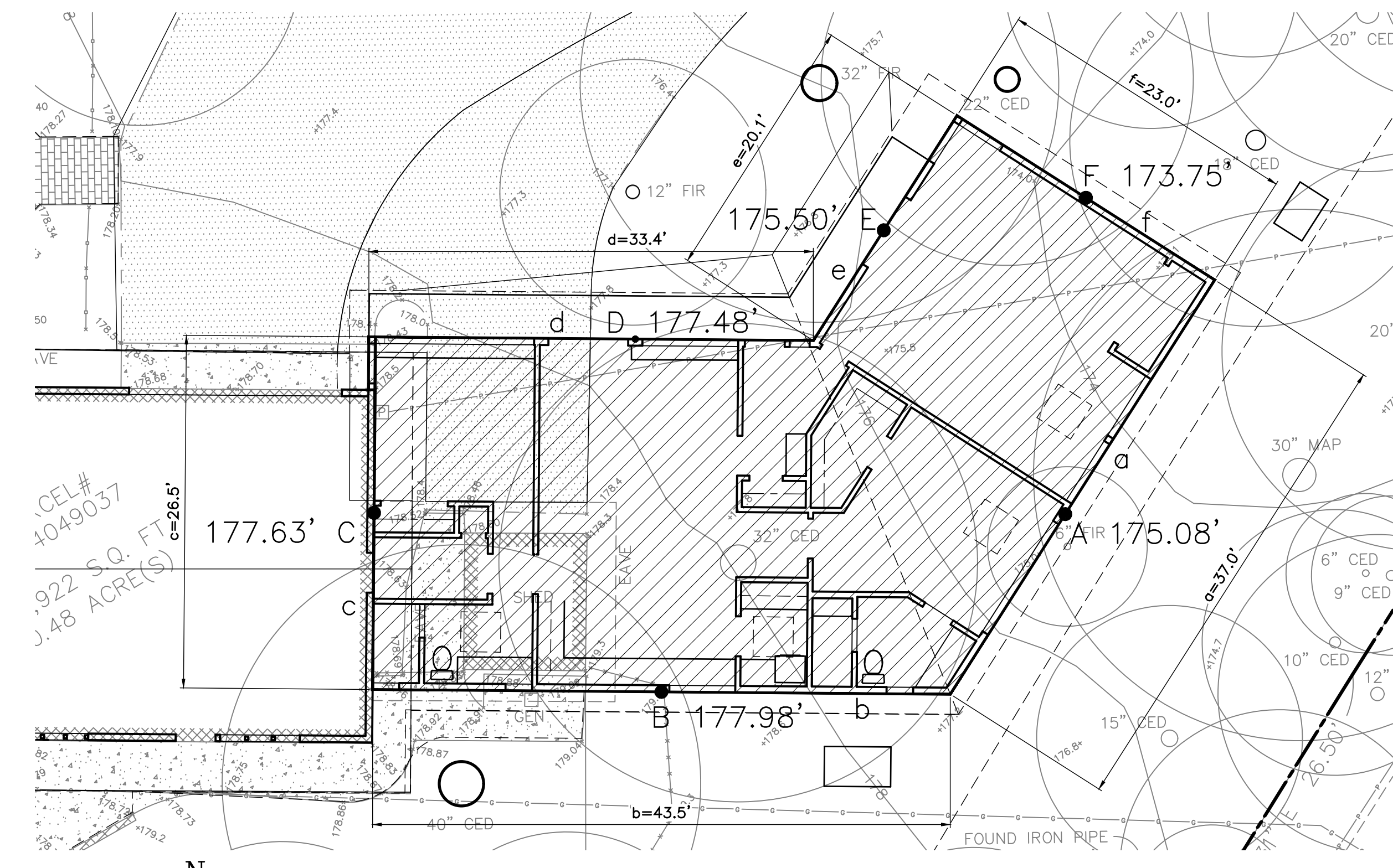
Remodel/Addition
6405 W. Mercer Way
Mercer Island, WA 98040

- Strategy to Preserve Exceptional Tree:**
- AIR SPADE AT TIME OF DEMOLITION PRIOR TO START OF CONSTRUCTION.
 - IF NO ROOTS IN AREA OF PROPOSED FOUNDATION - PROCEED WITH WORK AS DESIGNED.
 - IF ROOTS ARE ENCOUNTERED:
 ** LOCATE PIN PILES TO REDUCE POTENTIAL IMPACT TO ROOTS
 ** AFTER LOCATING PIN PILES PROVIDE ROOT VENTILATION SYSTEM UNDER SLAB.

1 Site Plan/Roof Plan
Scale: 1"=10'

SIDE YARDS DETERMINATION

FRONT PROPERTY LINE: 119.70' WIDTH X 17% = 20.35' (SUM OF THE SIDE YARDS)
 20.35' X 33% = 6.72' SOUTH YARD SETBACK
 20.35' - 6.72' = 13.63' NORTH YARD SETBACK



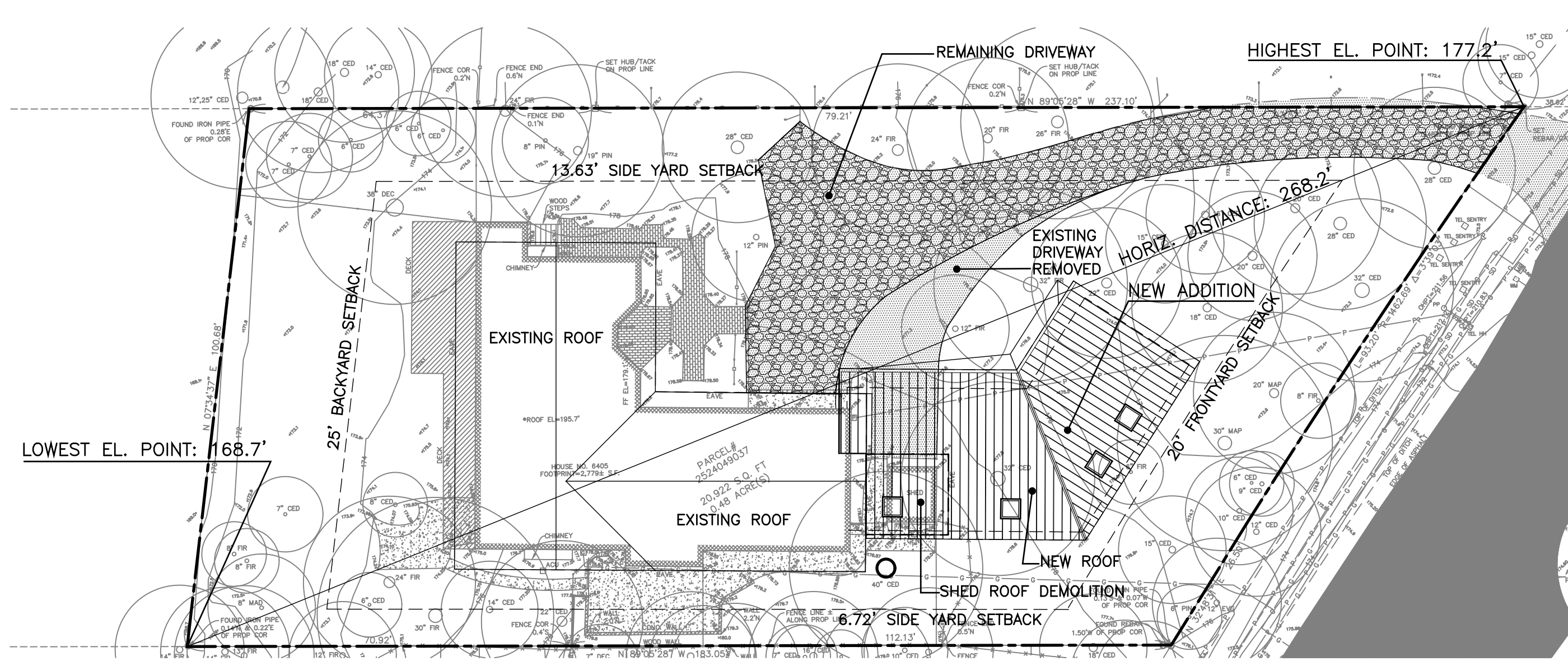
AVERAGE BUILDING ELEVATION			
Mid-point Elev.	Wall Segment Length	Elev x Length	
A= 175.08 ft	a= 37.0 ft	=	6474.5
B= 177.98 ft	b= 43.5 ft	=	7735.0
C= 177.63 ft	c= 26.5 ft	=	4714.3
D= 177.48 ft	d= 33.4 ft	=	5934.9
E= 175.50 ft	e= 20.1 ft	=	3524.0
F= 173.75 ft	f= 23.0 ft	=	3996.3
total=			total=
		183.5 ft.	32379.0
Avg. Building Elevation =		176.5 ft.	
Allowed Building Height =		206.5 ft.	
(206'-5 3/8")			

INDICATES FACE OF FOUNDATION FOR ABE MEASUREMENTS

2 Average Building Elevation Calculation
Scale: 1/8"=1'-0"

Date:
1 October 2022 Sub 1

Scale:
Sheet:



LOT COVERAGE CALCULATION

HIGHEST EL. POINT: 177.2'
LOWEST EL. POINT: 168.7'
EL. DIFFERENCE: 8.5'
HORIZ. DIST.: 268.2'
LOT SLOPE: 3.2% - MAX. LOT COVERAGE: 40%

LOT AREA 20,922 SF X 40% = 8,369.00 SF

EXIST. HOUSE ROOF AREA: 3,509.72 SF
EXIST. ACCESSORY ROOF AREA: 229.07 SF
DRIVEWAY: 2,949.21 SF
TOTAL EXIST LOT COVERAGE: 6,688.00 SF

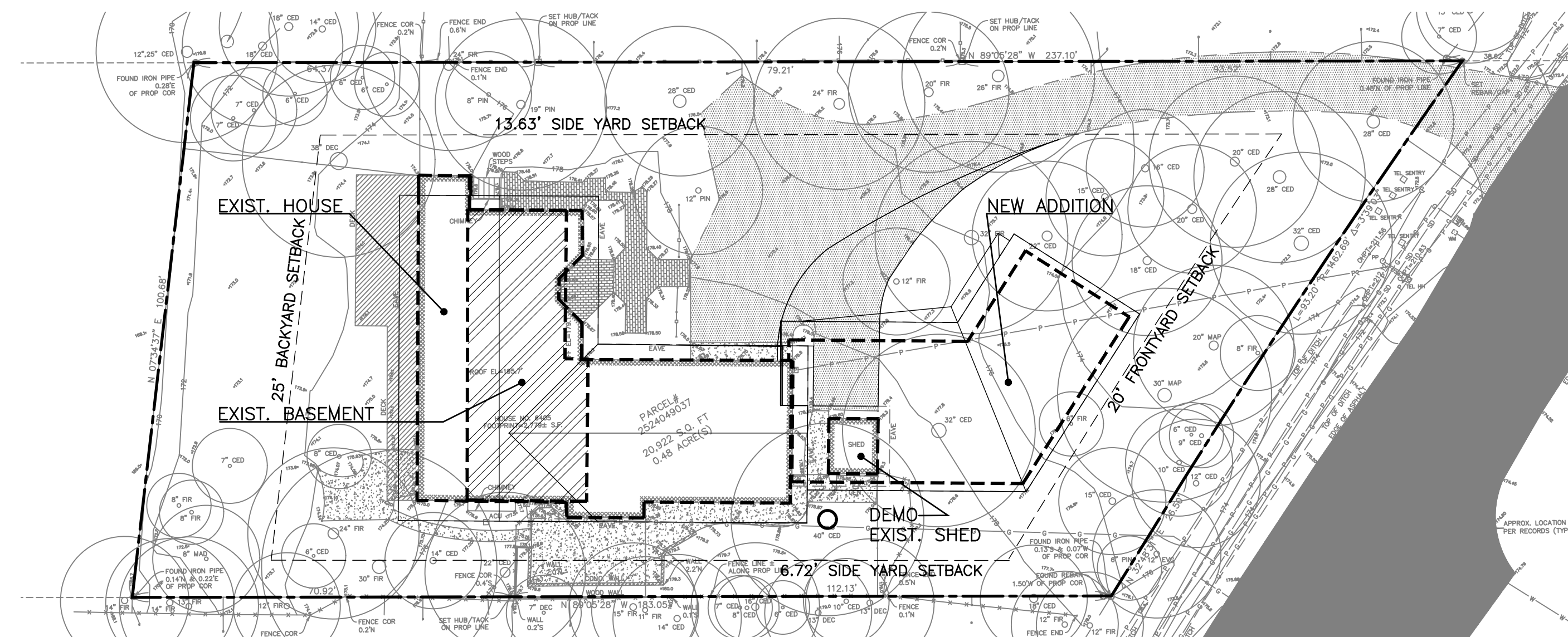
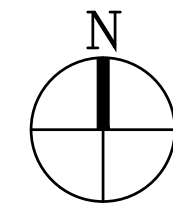
TOTAL LOT COV. AREA REMOVED:
- PARTIAL DRIVEWAY DEMO: 588.11 SF
- DEMO EXIST. SHED: 229.07 SF
- 817.18 SF

TOTAL NEW LOT. COV. AREA: 2,006.19 SF
TOTAL PROJECT LOT. COV. AREA: 7,877.01 SF
NEW LOT COVERAGE: 7,877.01/20,922 = 37.65%

DRAWING LEGEND

- REMAINING DRIVEWAY
- EXISTING DRIVEWAY REMOVED
- EXISTING ROOF
- NEW ROOF
- DEMOLITION

1 Lot Coverage
Scale: 1"=20'



GROSS FLOOR AREA CALCULATION

LOT AREA 20,922 SF
ALLOWED GFA: 20,922 SF X 40% = 8,368.80 SF

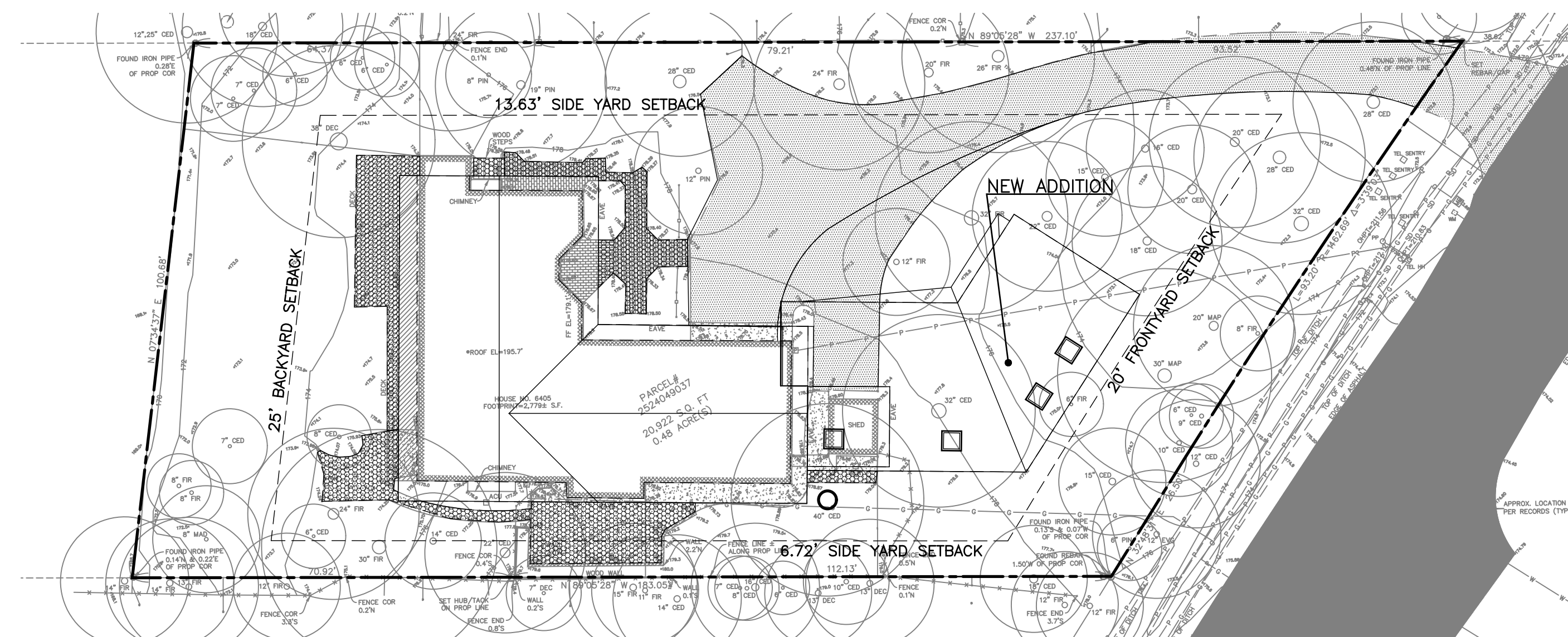
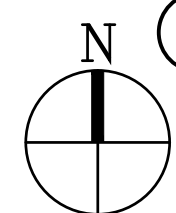
TOTAL EXIST. GFA:
- EXIST. HOUSE 2,066.73 SF
- BASEMENT AREA 1,105.85 SF
- GARAGE 714.27 SF
TOTAL FLOOR AREA 3,886.85 SF

SHED 94.62 SF
NEW ADDITION 1,671.34 SF
REMOVED AREA (SHED) -84.62 SF
TOTAL BUILDING AREA 5,558.00 SF
PROPOSED GFA: 5,558 / 20,922=26.56%

DRAWING LEGEND

- GFA

2 Gross Floor Area
Scale: 1"=20'



HARDSCAPE CALCULATION

LOT AREA 20,922 SF
ALLOWED HARDSCAPE: 20,922 SF X 9% = 1,882.98 SF

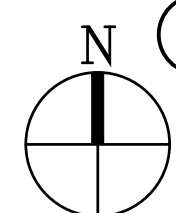
TOTAL EXIST. HARDSCAPE AREA:
- UNCOVERED DECKS 297.01 SF
- WALKWAYS 780.73 SF
- STAIRS 19.20 SF
TOTAL 1,096.94 SF

NEW HARDSCAPE AREA 1,096.94 SF
1096.94 SF/20,922 SF= 5.24%

DRAWING LEGEND

- HARDSCAPE

3 Hardscape
Scale: 1"=20'



MORGAN-HORNSBY RESIDENCE

Remodel/Addition
6405 W. Mercer Way
Mercer Island, WA 98040

Date:
1 October 2022 Sub 1

Scale:
Sheet:

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND STANDARD SPECIFICATIONS, AND WSDOT/APWA STANDARD SPECIFICATIONS, LATEST EDITION. THE CITY OF MERCER ISLAND RESERVES THE RIGHT TO REJECT ANY DAMAGED AND/OR NON-COMPLIANT CONSTRUCTION MATERIAL.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MERCER ISLAND CONSTRUCTION INSPECTION PERSONNEL.
- AN APPROVED PLAN SET MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL SITE WORK IMPROVEMENTS SHALL BE CONSTRUCTED TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ANY APPROVED CUTS OF EXISTING PUBLIC ROADWAYS SHALL BE BACK FILLED AND COMPACTED IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS. ALL CUTS INTO EXISTING ASPHALT SHALL BE ALONG NEAT, CONTINUOUS, SAWED, OR WHEEL CUT LINES. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. THIS EXISTING ROAD CUT SHALL BE REPLACED WITH AT LEAST THREE (3) INCHES OF COMPACTED CL "B" ASPHALT CONCRETE, SIX (6) INCH CRUSHED ROCK SURFACING TOP COURSE (5/8 INCH MINUS), AS REQUIRED DEPENDENT UPON A SOILS ENGINEER'S RECOMMENDATION AND TESTS. IN NO CASE SHALL THE REPLACEMENT BE LESS THAN THE EXISTING SECTION.
- PAVED SURFACES INCLUDING ROADWAYS, SIDEWALKS, AND CURBS THAT ARE DAMAGED BY NEW CONSTRUCTION SHALL BE REPAIRED AS REQUIRED BY THE CITY OF MERCER ISLAND INSPECTOR.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
- UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN ARE TO BE MAINTAINED PRIVATELY AND NOT BY THE CITY MERCER ISLAND.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED TO INSURE COMPLETE SILTATION CONTROL OF THE PROJECT. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL KEEP OFF-SITE STREETS CLEAN AT ALL TIMES BY SWEEPING. WASHING OF THESE STREETS WILL NOT BE ALLOWED WITHOUT PRIOR CITY OF MERCER ISLAND APPROVAL.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE TRAFFIC CONTROL MANUAL.
- CARE SHALL BE EXERCISED WHEN EXCAVATING NEAR EXISTING CHARGED WATER MAINS.

SURVEY NOTE:

UNDERGROUND UTILITIES AND EXISTING IMPROVEMENTS SHOWN ARE BASED UPON THE SURVEY "TOPOGRAPHIC AND BOUNDARY SURVEY, HORNSBY RESIDENCE, BY TERRANE, DATED JULY 2, 2021 AND RECORD DRAWINGS. NO WARRANTY OR GUARANTEE OF ACCURACY OR COMPLETENESS IS EITHER IMPLIED OR EXPRESSED. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS HAVE BEEN SHOWN ON THIS DRAWING FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES AND IMPROVEMENTS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING WITH APPROPRIATE AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND FOR CHECKING LOCATIONS IN THE FIELD. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UNDERGROUND UTILITIES AND IMPROVEMENTS RESULTING FROM HIS OPERATION.

VERTICAL DATUM AND HORIZONTAL CONTROL

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK 3114.

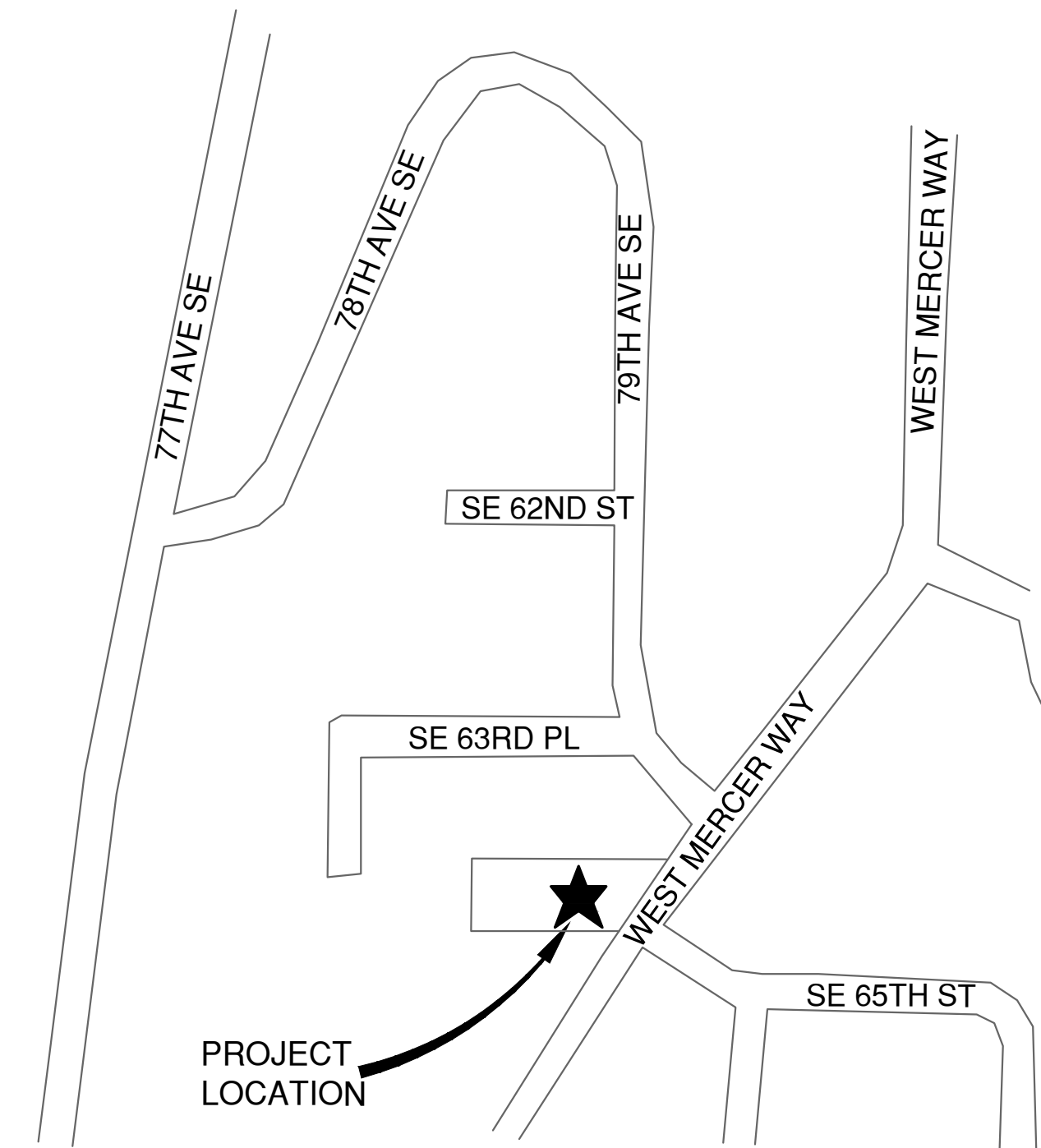
NAD83/91 PER CITY OF MERCER ISLAND CONTROL POINTS, HELD A BEARING OF N 12°38'35" E BETWEEN FOUND MONUMENTS ON CENTERLINE OF 77TH AVE SE.

GENERAL DRAINAGE NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND STANDARD SPECIFICATIONS AND WSDOT/APWA STANDARD SPECIFICATIONS, LATEST EDITION AND THE REQUIREMENTS OF THE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH CITY OF MERCER ISLAND CONSTRUCTION INSPECTION PERSONNEL.
- ALL STORM DRAINAGE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS. ANY DEVIATION FROM THESE PLANS WILL REQUIRE APPROVAL FROM THE OWNER, ENGINEER AND APPROPRIATE PUBLIC AGENCIES.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL STORM DRAIN PIPE MAY BE CONSTRUCTED OF ONE OF THE FOLLOWING MATERIALS UNLESS OTHERWISE SPECIFIED IN THE PLANS. ALL PIPE JOINTS MUST BE GASKETED WATERTIGHT AND MUST BE OF THE SAME MATERIAL AS THE PIPE. ALL PIPE SHALL HAVE A MINIMUM COVER AS SPECIFIED AND SHALL BE ADEQUATELY PROTECTED DURING CONSTRUCTION (REFER TO THE MANUFACTURE'S RECOMMENDATIONS FOR MINIMUM COVER FOR HEAVY EQUIPMENT LOADINGS). THE CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT SHALL EXERCISE THE OPTION TO ACCEPT OR REJECT ALL DAMAGED OR NON-COMPLIANT CONSTRUCTION MATERIAL. THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REJECTED OR SUBSTITUTED CONSTRUCTION MATERIAL.
- PIPE SHALL BE AS FOLLOWS: PVC - FOUR (4) INCH THROUGH EIGHTEEN (18) INCH DIAMETER PIPE, WITH TWENTY FOUR (24) INCH TO THIRTY SIX (36) INCH OF COVER SHALL BE IN ACCORDANCE WITH ASTM D3034 SDR 21. FOUR (4) INCH THROUGH EIGHTEEN (18) INCH DIAMETER PIPE, WITH ASTM D3034 SDR 35 SHALL HAVE THIRTY SIX (36) INCHES MINIMUM COVER. ALL JOINTS SHALL BE PUSH-ON WITH RUBBER GASKETS. PVC STORM PIPE REQUIRES SAND COLLARS MEETING ASTM D-3034-78 SDR 35 SPECIFICATIONS (I.E. CATCH BASIN CONNECTION) OR KOR-N-SEAL BOOTS.
- ALL PIPE BEDDING SHALL BE APWA TYPE "F" FOR FLEXIBLE PIPE (I.E. PVC, SMP OR ADS). BEDDING MATERIAL SHALL BE 5/8 INCH MINUS CRUSHED ROCK ONLY.
- ALL TRENCH BACKFILL IN AREAS OF FUTURE PAVEMENT OR STRUCTURAL LOADING SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D 1557-70 (MODIFIED PROCTOR). ALL OTHER AREAS SHALL BE COMPACTED TO 90 PERCENT MINIMUM).
- CONSTRUCTION OF DEWATERING (GROUNDWATER INTERCEPTION) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS, SECTION 61-3.02.
- THE CONTRACTOR SHALL KEEP OFF-SITE STREETS CLEAN AT ALL TIMES BY SWEEPING. WASHING THESE STREETS WILL NOT BE ALLOWED WITHOUT PRIOR CITY OF MERCER ISLAND APPROVAL.
- ALL STORMWATER FACILITIES WILL BE INSTALLED AND IN OPERATION PRIOR TO OR IN CONJUNCTION WITH ALL CONSTRUCTION ACTIVITY UNLESS THAT ACTIVITY EXCEEDS THE CAPACITY AND INTENT OF THE EROSION/SEDIMENTATION CONTROL FACILITY OR UNLESS OTHERWISE APPROVED BY THE CITY.
- RELAY EXISTING SERVICE DRAINS AND SIDE SEWERS TO CLEAR OVER OR UNDER THE NEW UTILITY AS APPROVED BY THE INSPECTOR.

CONSTRUCTION SEDIMENT CONTROL (CSC) NOTES

- APPROVAL OF THIS CONSTRUCTION SEDIMENT CONTROL PLAN (CSC) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THESE CSC AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE CSC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE CSC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- THE CSC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE CSC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS AND AS THE CITY REQUIRES.
- THE CSC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING AND OPERATION.
- ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS, WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF TWO (2) DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED CSC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.) GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH OCTOBER INCLUSIVE.
- ANY AREA NEEDING CSC MEASURE, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.
- THE CSC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT AND AS THE CITY DEEMS NECESSARY.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS PER CITY STANDARDS, SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- DURING THE TIME PERIOD OF NOVEMBER 1ST THROUGH MARCH 31ST, ALL PROJECT DISTURBED AREAS THAT ARE TO BE LEFT UNWORKED FOR MORE THAN TWO (2) DAYS SHALL BE COVERED BY ONE OF THE FOLLOWING COVER MEASURES: MULCH, SODDING OR PLASTIC COVERING.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF THREE (3) INCHES OR 3,000 LBS/ACRE.
- AS CONSTRUCTION PROGRESSES AND UNEXPECTED SEASONAL CONDITIONS DICTATE, AND AS THE CITY REQUIRES, THE PERMITTEE SHOULD ANTICIPATE THAT MORE CSC MEASURES WILL BE NECESSARY TO PROTECT ADJACENT PROPERTIES AND ENSURE MINIMUM WATER QUALITY FOR SITE RUNOFF. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ADDRESS DEFICIENT CSC CONDITIONS AND PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS OUTLINED ON THE APPROVED PLANS.
- FILTER FABRIC FENCE SHALL BE USED WHERE NOTED ON THE PLANS OR AS DIRECTED BY THE CITY.



PROJECT ADDRESS:

6405 West Mercer Way, Mercer Island, WA 98040

PARCEL NUMBER:

252404-9037

LOT AREA:

20,922 SF

LEGAL DESCRIPTION:

THAT PORTION OF THE NORTH 100 FEET OF GOVERNMENT LOT 1, SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M. IN KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIPE MONUMENT AT THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 1 WITH THE CENTERLINE OF LAKE VIEW DRIVE 77TH AVENUE SOUTHEAST AS LOCATED IN PLAT OF LAKE VIEW HIGHLANDS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 33 OF PLATS, PAGE 34, RECORDS OF KING COUNTY, WASHINGTON;
THENCE EAST ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 1 A DISTANCE OF 516.84 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 6° 40' 05" WEST A DISTANCE OF 100.68 FEET TO A POINT ON A LINE WHICH IS 100 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO THE NORTH LINE OF SAID GOVERNMENT LOT 1;
THENCE EAST ON A LINE PARALLEL WITH THE NORTH LINE OF SAID GOVERNMENT LOT 1 FOR A DISTANCE OF 181.46 FEET, MORE OR LESS, TO A POINT OF INTERSECTION WITH THE WEST BOUNDARY LINE OF WEST MERCER WAY;
THENCE NORTHEASTERLY ALONG THE WEST BOUNDARY LINE OF WEST MERCER WAY TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID GOVERNMENT LOT 1;
THENCE WEST ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 1, A DISTANCE OF 233.42 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

EROSION CONTROL/CONSTRUCTION SEQUENCE

- ARRANGE AND ATTEND PRE-CONSTRUCTION MEETING WITH BETWEEN OWNER OR OWNER'S REPRESENTATIVE AND CITY OF MERCER ISLAND SITE INSPECTOR.
- CONTRACTOR'S SURVEYOR TO ESTABLISH AND STAKE OUT CONTROL POINTS FOR WORK.
- INSTALL STRAW WATTLE BARRIERS AND GRATE INLET PROTECTION.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (IF REQUIRED).
- CLEAR AND GRUB AREA.
- CONSTRUCT OR INSTALL SOIL STABILIZATION MEASURES.
- COORDINATE REMOVAL AND CAPPING OF EXISTING UTILITY LINES WITH APPROPRIATE PURVEYOR.
- GRADE SITE PER PLAN. STABILIZE GRADED AREAS WITH TEMPORARY EROSION CONTROL MEASURES AS REQUIRED.
- CONSTRUCT SITE IMPROVEMENTS.
- HYDROSEED REMAINING DISTURBED AREAS.
- RETURN SILTATION CONTROL AREAS TO ORIGINAL GROUND CONDITIONS.
- REMOVE REMAINING TEMPORARY EROSION/SEDIMENTATION CONTROL ONLY AFTER SITE HAS BEEN STABILIZED AND CITY OF MERCER ISLAND SITE INSPECTOR HAS APPROVED THE REMOVAL.

CALL 48 HOURS BEFORE YOU DIG
1-800-424-5555
OR CALL 8-1-1

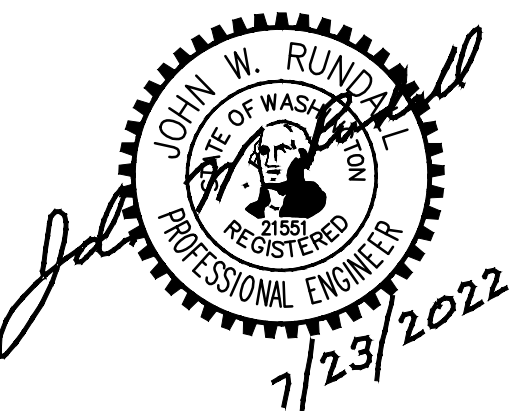


ECTYPOS ARCHITECTURE

4212 W. Mercer Way
Mercer Island, WA 98040
t. (206) 232-9147
f. (206) 275-0312



Civil Engineer:
WR Consulting, Inc.
3611 45th Ave W.
Seattle, WA 98199
P: 206.285.1593



MORGAN-HORNSBY RESIDENCE

Remodel/Addition

6405 W. Mercer Way

Mercer Island, WA 98040

Date: **2 November 2022**
Permit Set

Scale: As Noted

Sheet: **1** of 3

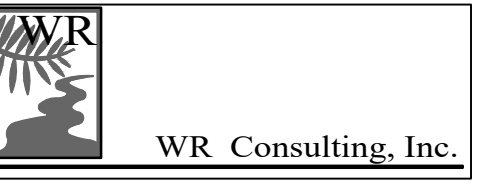
GENERAL NOTES

C1

CALL 48 HOURS BEFORE YOU DIG
1-800-424-5555
OR CALL 8-1-1

ECTYPOS
ARCHITECTURE

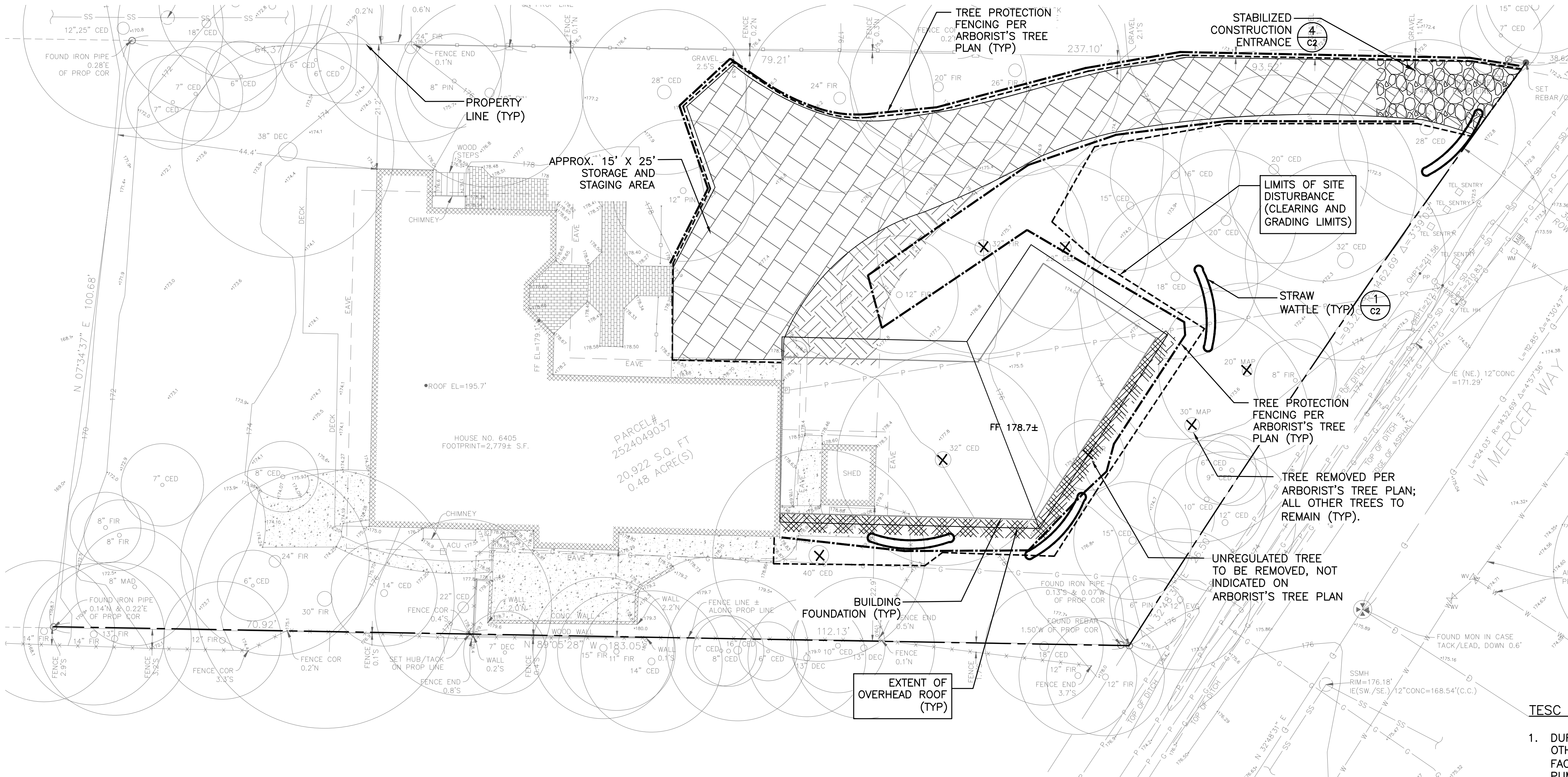
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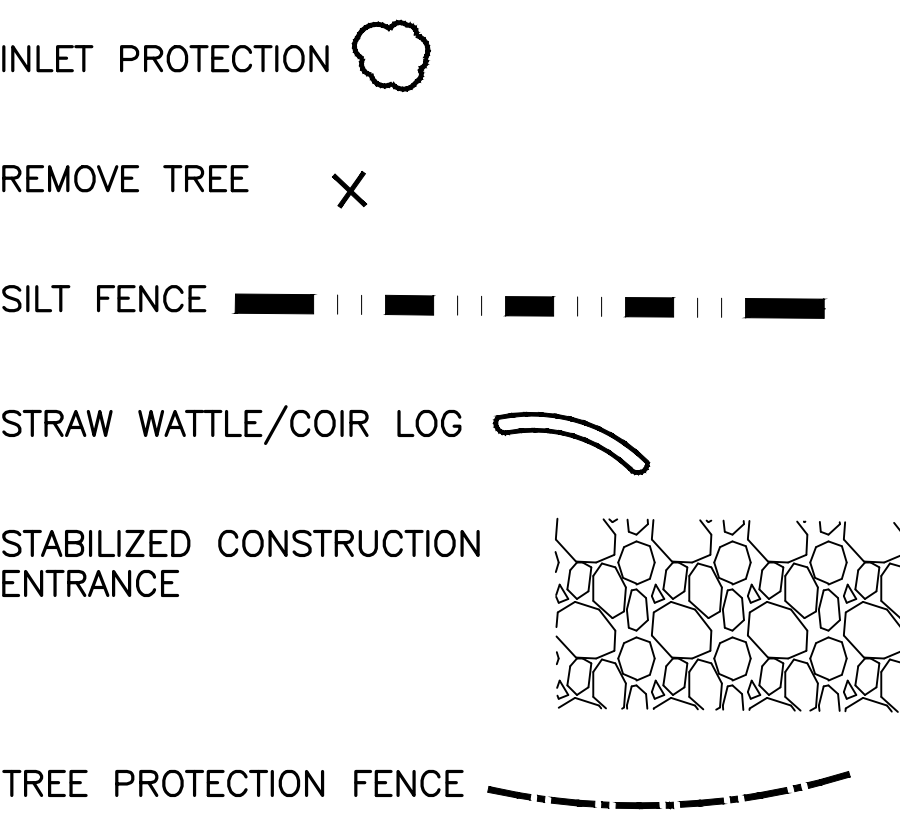
MORGAN-HORNSBY RESIDENCE
Remodel/Addition
6405 W. Mercer Way
Mercer Island, WA 98040



TREE PROTECTION NOTES:

- ALL TREES NOT INDICATED FOR REMOVAL SHALL REMAIN UNDISTURBED.
- INSTALL ADDITIONAL TREE PROTECTION FENCING AS NEEDED TO PREVENT DAMAGE TO EXISTING TREES.
- EXCESS EXCAVATED MATERIALS SHALL NOT BE DISPOSED OF ON-SITE OR PLACED ON ANY ROOT ZONE OF EXISTING TREES TO REMAIN.
- SPOILS, EXCESS MATERIALS AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

LEGEND

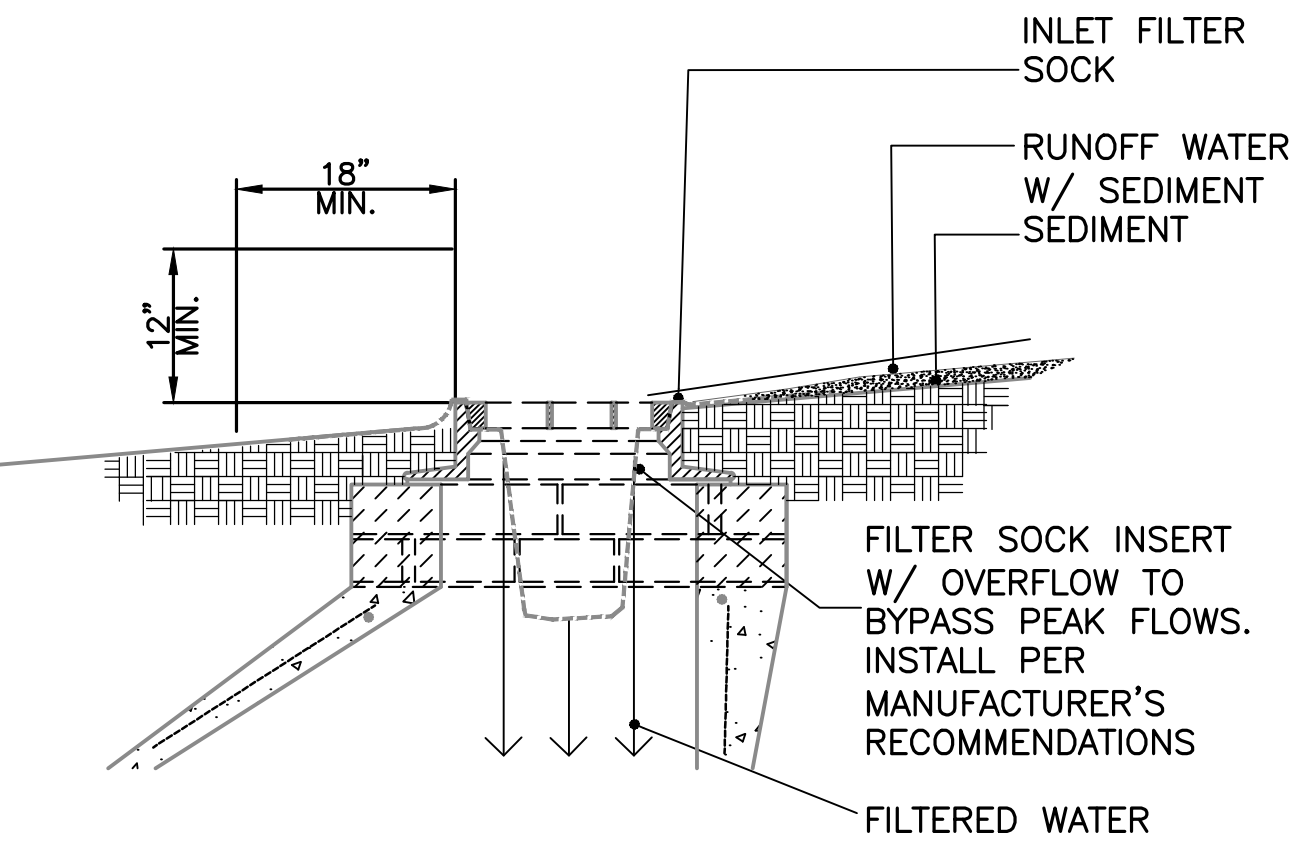
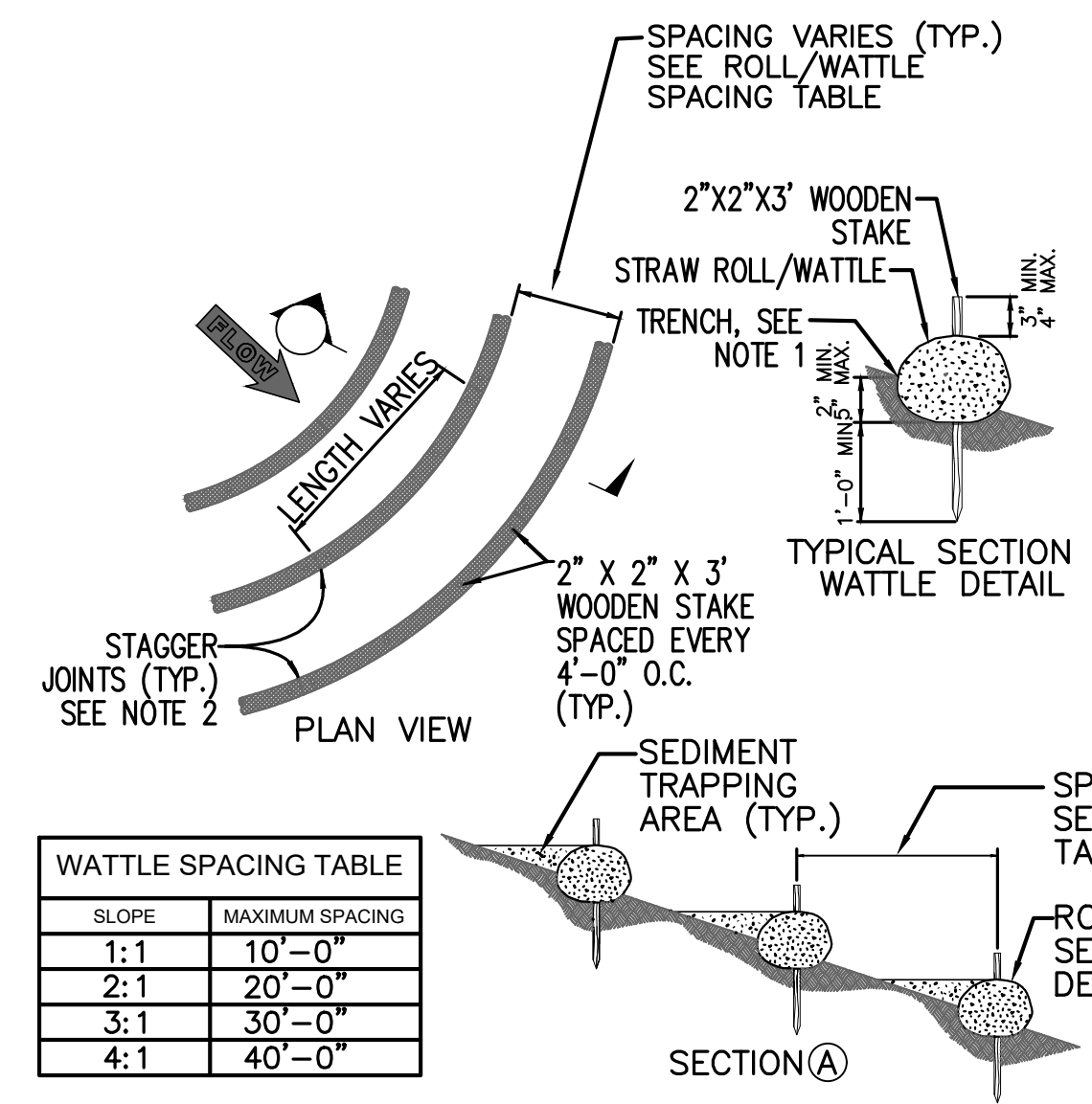


TESC SEASONAL WAIVER NOTES:

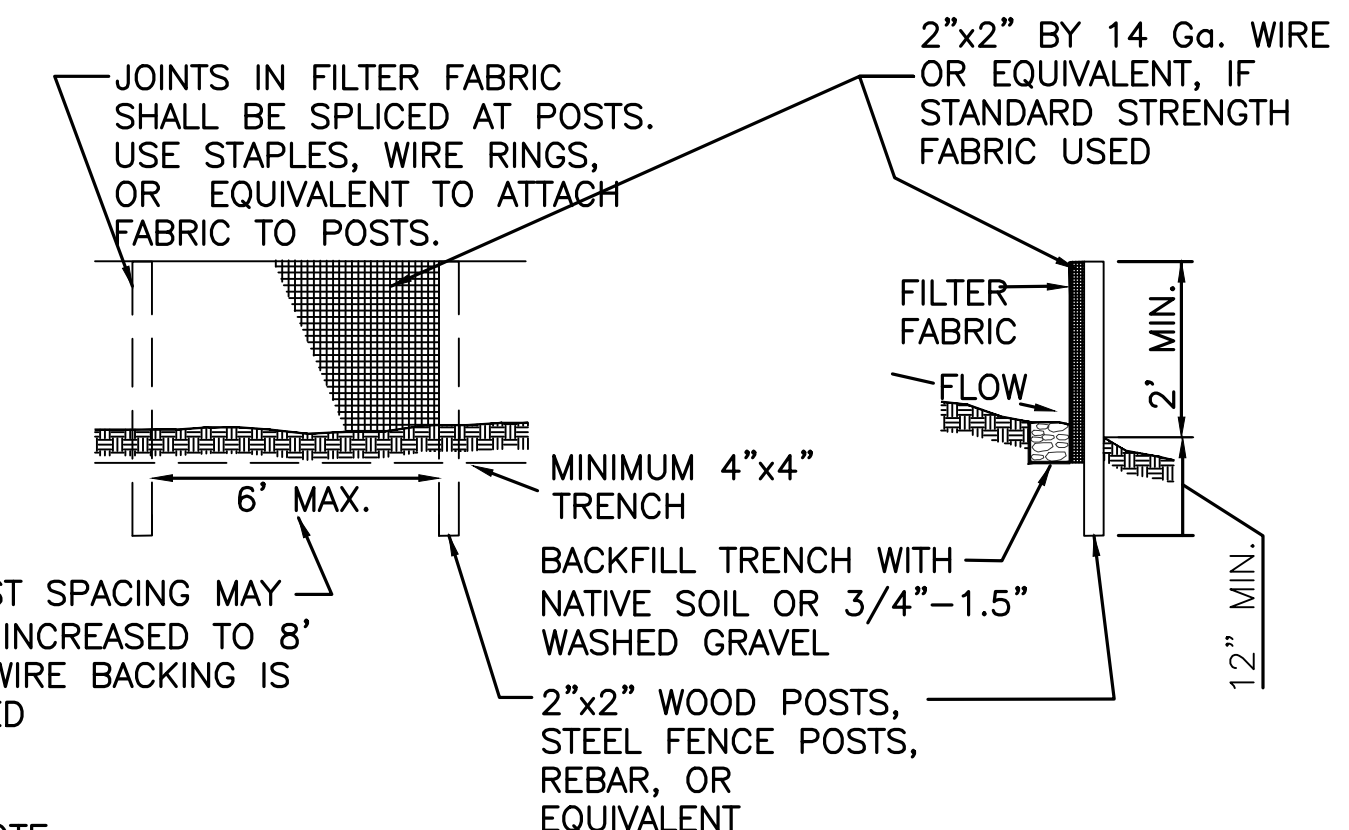
- DURING CONSTRUCTION OF DETENTION SYSTEM OR OTHER SITE WORK, A STORMWATER MANAGEMENT FACILITY INCLUDING STORAGE (EG. BAKER TANKS), PUMPS, TREATMENT COMPONENTS AND SETTLING MEASURES SHALL BE IN PLACE AS NEEDED TO CONTROL SEDIMENT WHEN DISCHARGING STORMWATER TO THE STORM DRAIN SYSTEM.
- THE STORMWATER MANAGEMENT FACILITY SHALL BE MAINTAINED AND OPERATED AS REQUIRED TO PREVENT THE DISCHARGE OF SEDIMENT LADEN SOILS FROM THE SITE.

WATTLE DETAIL NOTES

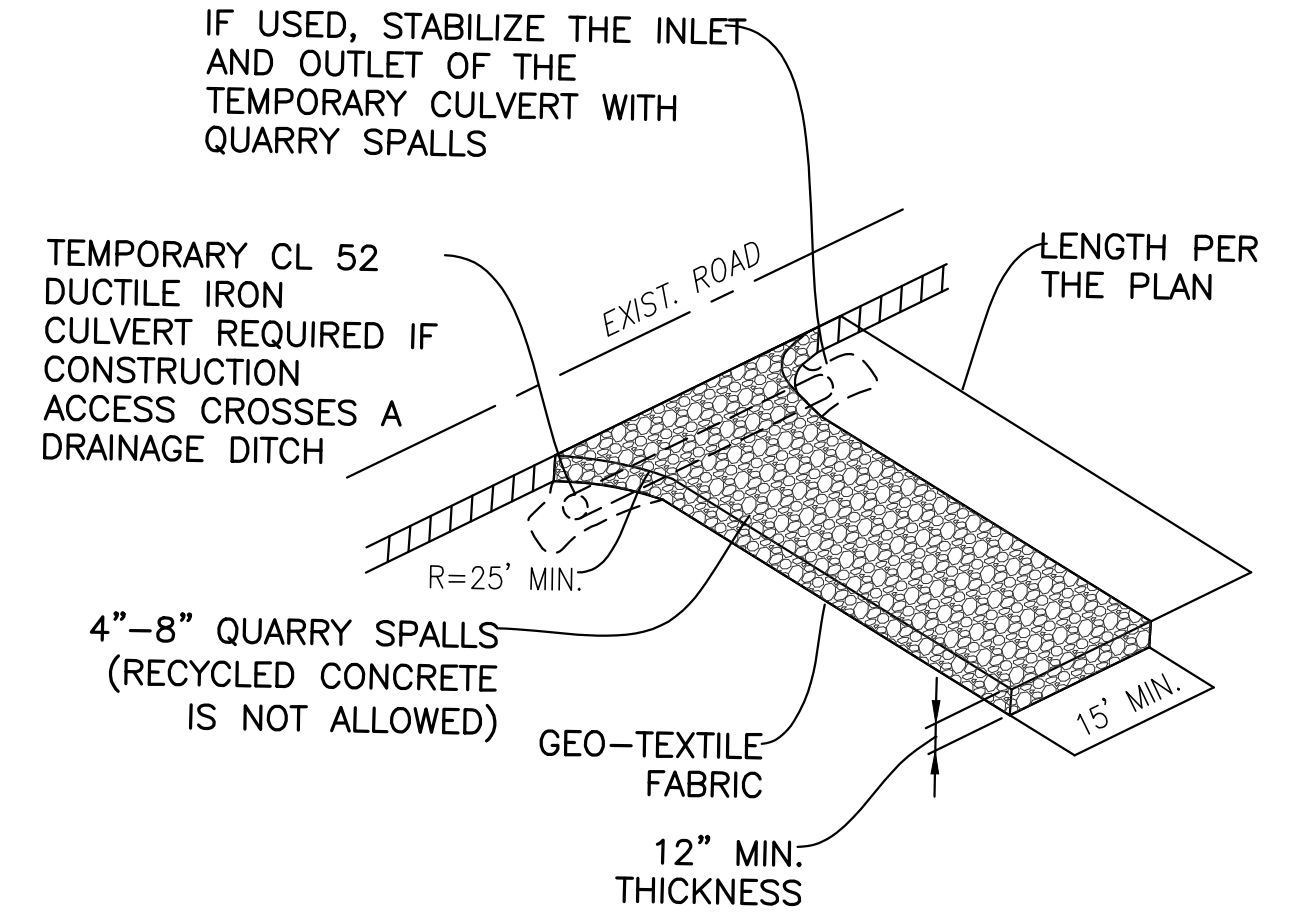
- Install Wattles along contours. Installation shall be in accordance with Standard Specification 8-01.3(10).
- Securely knot each end of Wattle. Abut adjacent Wattles tightly, end to end, without overlapping the ends.
- Pilot holes may be driven through the Wattles and into the soil when soil conditions require.
- Live stakes may be used for Permanent installation and shall be in accordance with Standard Specification 9-14.6.
- Wattles shall be inspected regularly, and immediately after a rainfall produces runoff, to ensure they remain thoroughly entrenched and in contact with the soil.



2 INLET PROTECTION DETAIL
SCALE: N.T.S.



3 SILT FENCE DETAIL
SCALE: N.T.S.



4 STABILIZED CONSTRUCTION ACCESS
SCALE: N.T.S.

1 STRAW ROLL (WATTLE) DETAIL
SCALE: N.T.S.

Date: **2 November 2022**
Permit Set

Scale: 1" = 10'
Sheet: **2** of 3
CSC PLAN AND DETAILS

C2

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ECTYPOS
ARCHITECTURE

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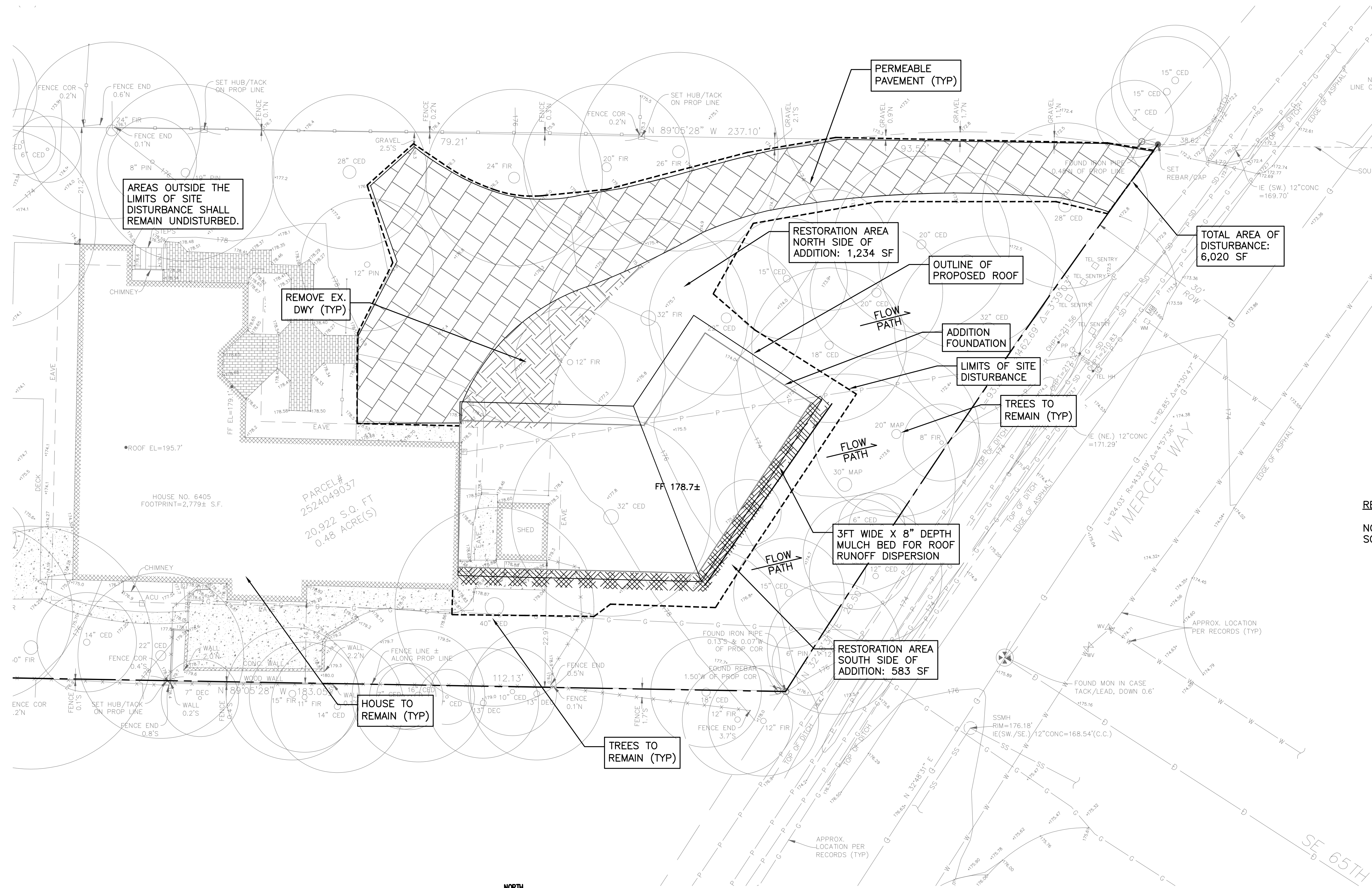
CONSTRUCTION NOTES:

1. FURNISH AND INSTALL ALL TRANSITION COUPLINGS (FERNCO REDUCERS AND COUPLINGS) AS NEEDED FOR CONNECTIONS TO BLDG UTILITIES
2. INVERT ELEVATIONS ARE APPROXIMATE. ADJUST INVERT ELEVATIONS AS NEEDED TO COORDINATE WITH BLDG UTILITIES AND EXISTING GRADES.
3. SEE ARCHITECTURE PLANS FOR BUILDING AND SITE FURNISHINGS DETAILS.

RESTORATION AREAS	AREA(SF)
NORTH OF ADDITION (INCL. FMR DWY)	1,234 SF
SOUTH OF THE ADDITION	583 SF

SOIL RESTORATION REQUIREMENTS:

1. IN ALL AREAS DISTURBED BY CONSTRUCTION AND IN PLANTING BEDS AS INDICATED ON THE PLAN.
2. SOIL RESTORATION SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND POST-CONSTRUCTION SOIL-MANAGEMENT MINIMUM REQUIREMENT #5, BMP T5.13
3. SOIL RESTORATION SHALL BE AS FOLLOWS: TILL IN 3" COMPOST OR IMPORT 8" OF COMPOST AMENDED TOPSOIL



AREAS OUTSIDE THE LIMITS OF SITE DISTURBANCE SHALL REMAIN UNDISTURBED.

REMOVE EX. DWY (TYP)

RESTORATION AREA NORTH SIDE OF ADDITION: 1,234 SF

TOTAL AREA OF DISTURBANCE: 6,020 SF

OUTLINE OF PROPOSED ROOF

ADDITION FOUNDATION

LIMITS OF SITE DISTURBANCE

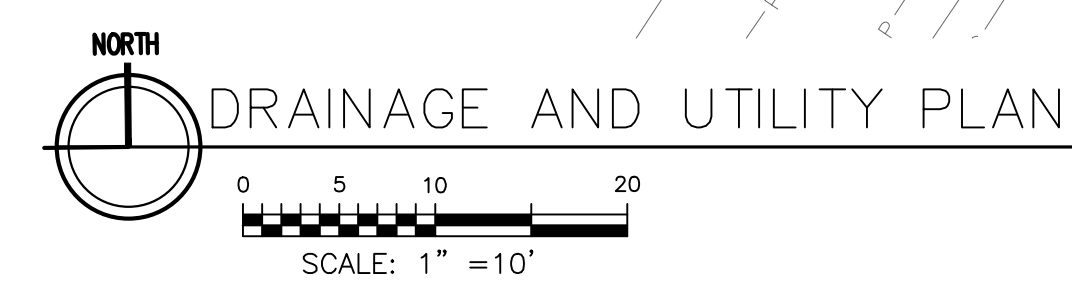
TREES TO REMAIN (TYP)

3FT WIDE X 8" DEPTH MULCH BED FOR ROOF RUNOFF DISPERSION

RESTORATION AREA SOUTH SIDE OF ADDITION: 583 SF

HOUSE TO REMAIN (TYP)

TREES TO REMAIN (TYP)



LEGEND

- AREA DRAIN
- CATCH BASIN, TYPE 1
- ⊞ CATCH BASIN, TYPE 2-48"
- ⊞ CATCH BASIN, TYPE 2-54"
- CLEAN OUT
- DOWNSPOUT CONNECTION
- - - FOUNDATION DRAIN
- FOUNDATION DRAIN CLEANOUT
- NATURAL GAS
- - - SANITARY SIDE SEWER
- STORM DRAIN
- - - WATER SERVICE

MORGAN-HORNSBY RESIDENCE

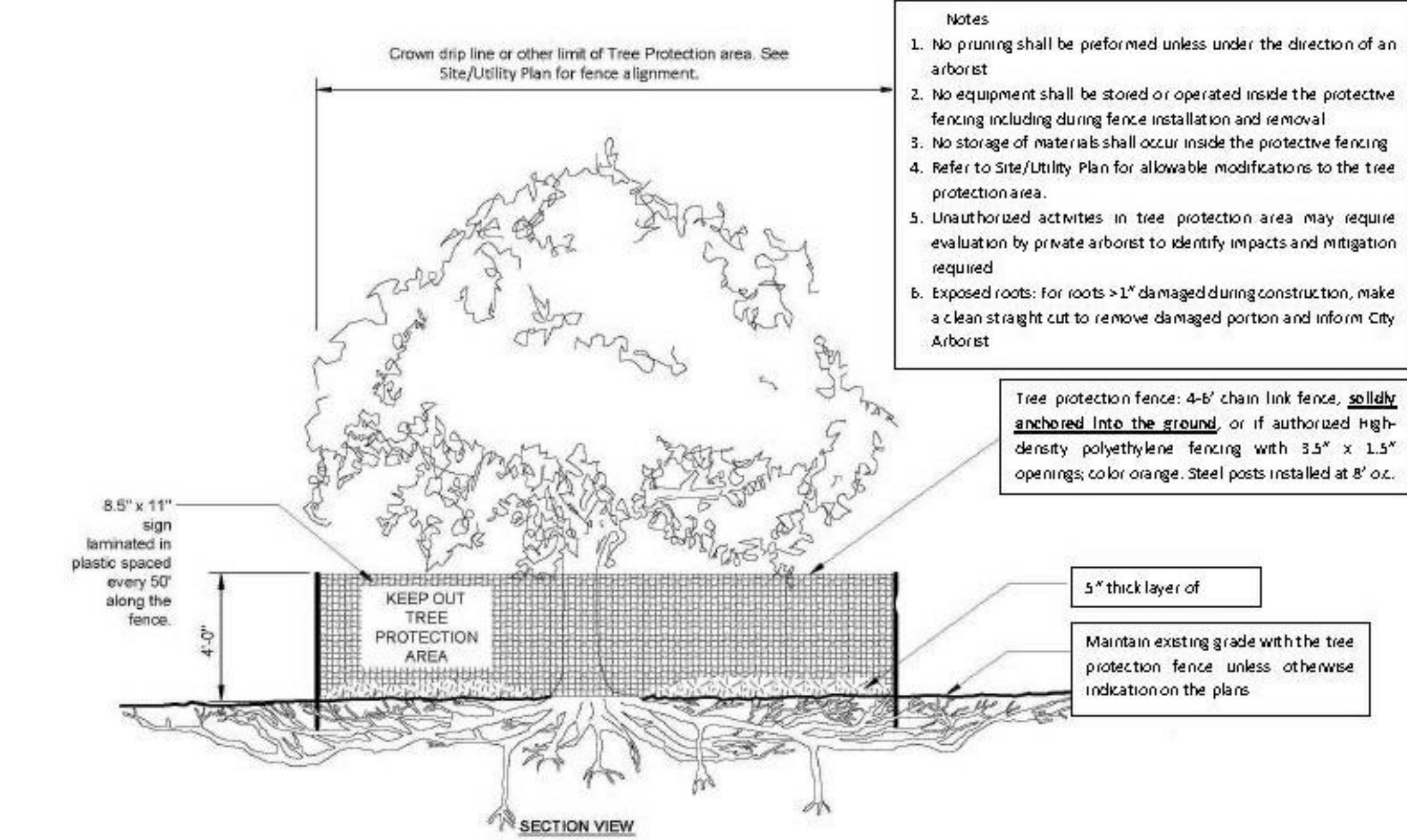
Remodel/Addition
6405 W. Mercer Way
Mercer Island, WA 98040

Date: **2 November 2022**
Permit Set

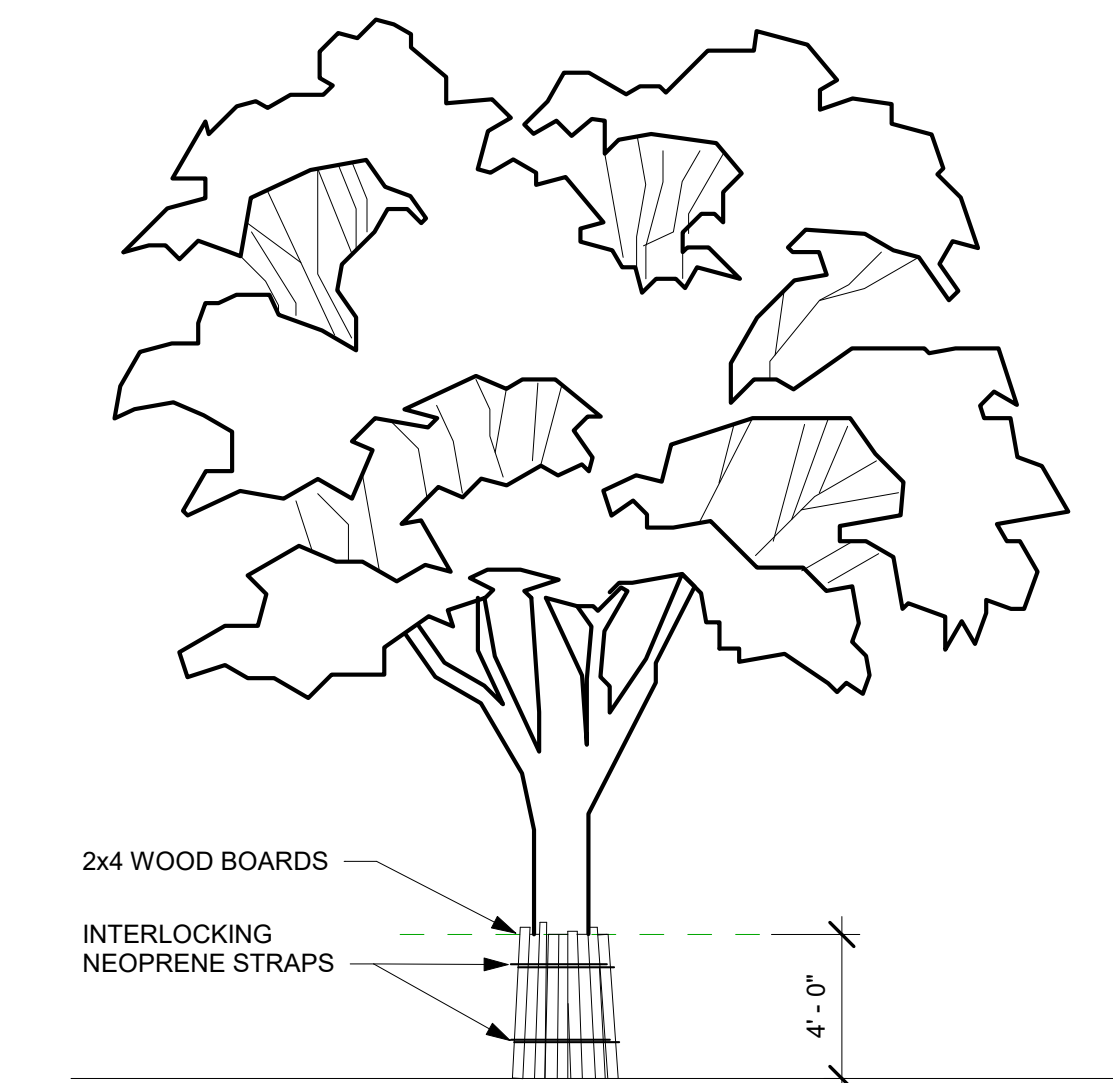
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Sheet: **3** of 3
DRAINAGE AND UTILITY PLAN

C3

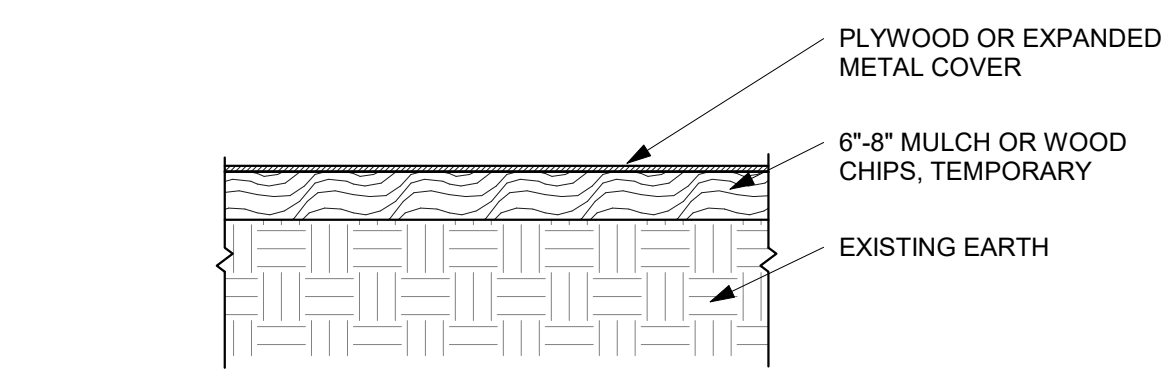
No.	Description	Date



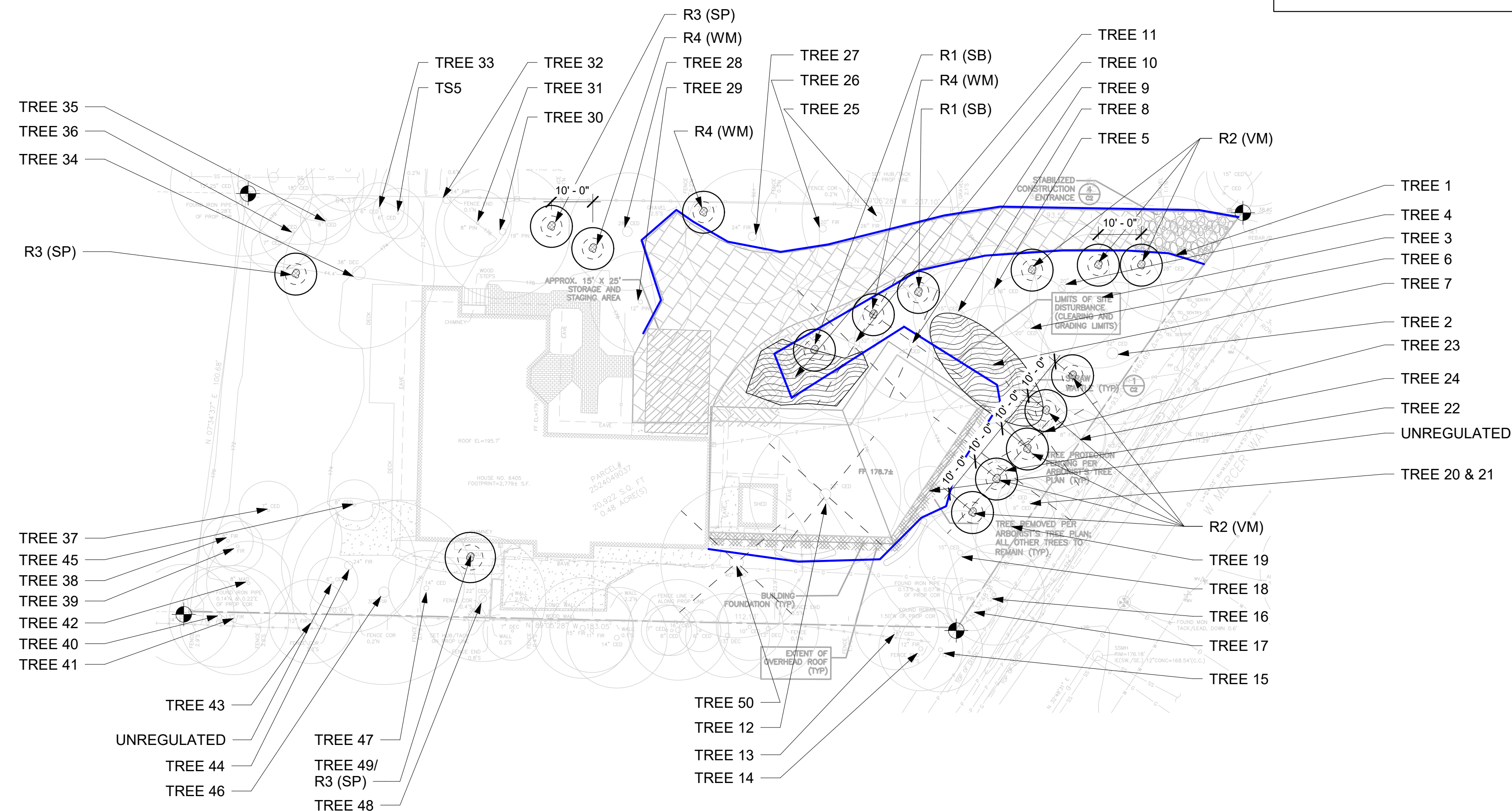
2 Mercer Island Tree Protection Detail
1/4" = 1'-0"



3 Trunk Protection
3/16" = 1'-0"



4 Tree planting protection - Traffic Cover
1/2" = 1'-0"



	TREE DRIP LINE (DL)
	DIAMETER STANDARD HEIGHT (DSH)
	EVERGREEN TREE
	DECIDUOUS TREE
	TREE TO BE REMOVED
	TREE PROTECTION FENCING
	NEW TREE
	6"-12" DEEP MULCH

TREE #	TREE TYPE	DBH	DRIPLINE	CONDITION	RETAIN OR REMOVE	TRUNK PROTECTION	COMMENTS
1.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	30"	15'	Good	RETAIN		EXCEPTIONAL
2.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	32"	15'	Good	RETAIN		EXCEPTIONAL
3.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	28"	18'	Good	RETAIN		
4.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	20"	18'	Good	RETAIN		
5.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	16"	18'	Good	RETAIN		
6.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	20"	15'	Good	RETAIN		
7.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	20"	15'	Good	RETAIN		
8.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	15"	12'	Good	RETAIN		
9.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	22"	18'	Good	REMOVE		
10.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	12"	21'	Good	RETAIN		EXCEPTIONAL
11.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	32"	12'	Good	RETAIN	YES	
12.	SEQUOIA <i>SEQUIADENDRON GIGANTEUM</i>	32"	21'	Good	REMOVE		EXCEPTIONAL
13.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	18"	15'	Good	RETAIN		
14.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	12"	12'	Poor	RETAIN		
15.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	12"	12'	Poor	RETAIN		
16.	DEODORA <i>CEDRUS DEODORA PENDULA</i>	32"	12'	Good	RETAIN		UNREGULATED
17.	PINE <i>PINUS PONDEROSA</i>	6"	8'	Poor	RETAIN		
18.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	15"	15'	Good	RETAIN		
19.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	10"	14'	Fair	RETAIN		
20.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	9"	12'	Fair	RETAIN		UNR
21.	-	-	-	-	-	-	-
22.	BIG LEAF MAPLE <i>ACER MACROPHYLLUM</i>	22"	22'	Poor	REMOVE		UNREGULATED
23.	BIG LEAF MAPLE <i>ACER MACROPHYLLUM</i>	20"	18'	Fair	REMOVE		
24.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	8"	14'	Fair	RETAIN		
25.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	26"	21'	Good	RETAIN	YES	
26.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	20"	8'	Good	RETAIN	YES	
27.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	24"	21'	Good	RETAIN	YES	
28.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	28"	18'	Fair	RETAIN	YES	
29.	PINE <i>PINUS PONDEROSA</i>	12"	12'	Poor	RETAIN	YES	UNREGULATED The tree between to small remove from drawing
30.	DEODORA <i>CEDRUS DEODORA PENDULA</i>	19"	18'	Good	RETAIN		UNREGULATED
31.	DEODORA <i>CEDRUS DEODORA PENDULA</i>	8"	15'	Good	RETAIN		UNREGULATED
32.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	24"	16'	Good	RETAIN		EXCEPTIONAL/Hazardous
33.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	6"	12'	Fair	RETAIN		
34.	BIG LEAF MAPLE <i>ACER MACROPHYLLUM</i>	38"	18'	Poor	RETAIN		
35.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	7"	12'	Fair	RETAIN		UNREGULATED
36.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	7"	12'	Fair	RETAIN		UNREGULATED
37.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	7"	14'	Fair	RETAIN		UNREGULATED
38.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	8"	8'	Dead	RETAIN		UNREGULATED
39.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	8"	8'	Dead	RETAIN		UNREGULATED
40.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	14"	18'	Fair	RETAIN		
41.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	13"	6'	Fair	RETAIN		
42.	MADRONA <i>ARBUTUS MENZIESII</i>	8"	12'	Fair	RETAIN		EXCEPTIONAL
43.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	12"	14'	Fair	RETAIN		6" WESTERN RED CEDAR between gone
44.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	24"	18'	Good	RETAIN		
45.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	8"	12'	Fair	RETAIN		UNREGULATED
46.	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	30"	14'	Good	RETAIN		EXCEPTIONAL
47.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	14"	14'	Fair	RETAIN		
48.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	22"	16'	Fair	RETAIN		
49.	VINE MAPLE <i>ACER CIRCINATUM</i>	6.5"	12'	Fair	RETAIN		UNREGULATED - REPLACED WITH SHORE PINE
50.	WESTERN RED CEDAR <i>THUJA PLICATA</i>	40"	27'	Good	REMOVE		EXCEPTIONAL

NOTE:
10, 12, AND 50 ARE EXCEPTIONAL AND SLATED FOR REMOVAL IN GOOD CONDITION USING (MICC19.10.060(A)(3))THE GFA CALCULATIONS ARE FOUND ON PAGE A1.2

PREPARED BY:
NEAL BAKER
ARBORISTS NW.COM
ISA CERT. PN1075A
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)
MEMBER AREA & SOCA
PH: 206 779 2579

MORGAN-HORNSBY

6405 W MERCER WAY, MERCER ISLAND, WA 98040

MORGAN-HORNSBY

ARBORIST TREE PLAN

Project number	22013
Date	--
Drawn by	CW
Checked by	NB

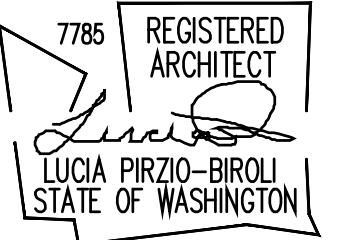
X100

Scale As indicated



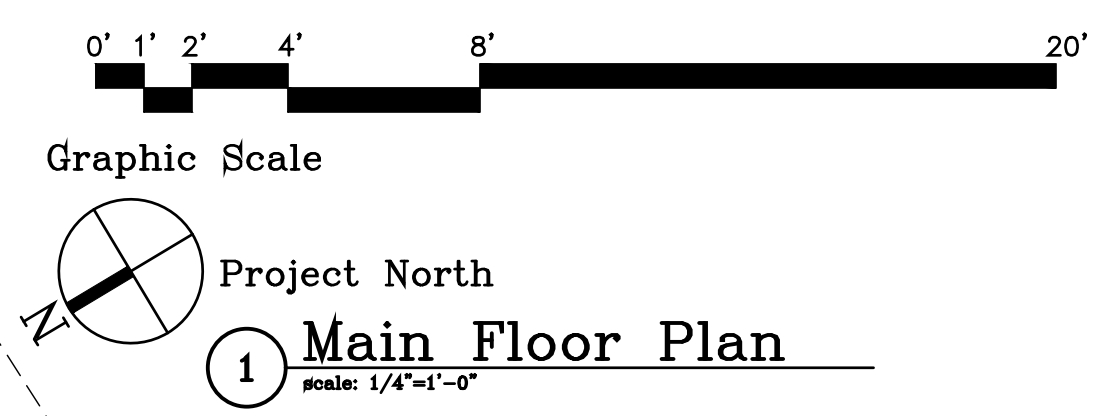
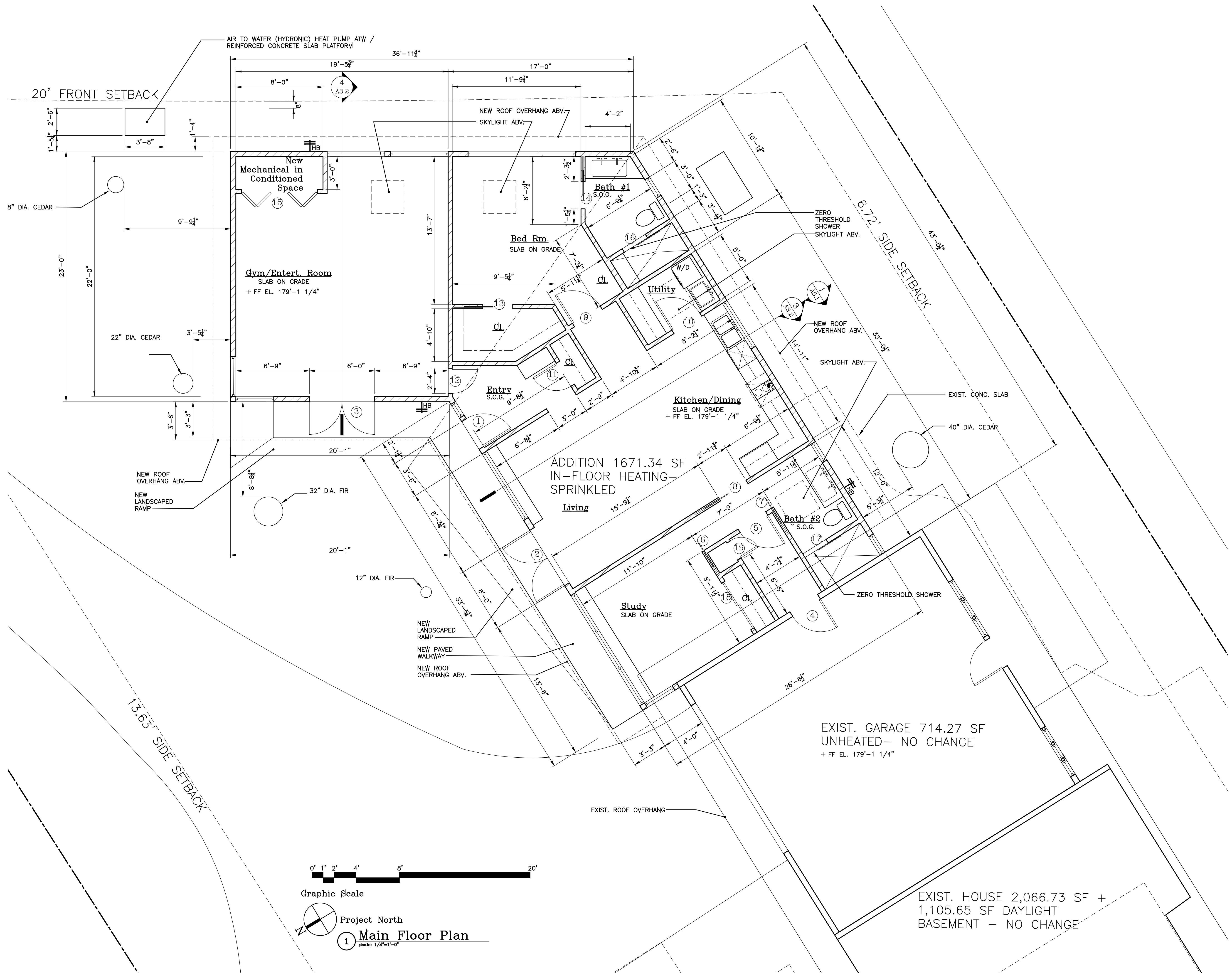
ECTYPOS
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EXIST. GARAGE 714.27 SF
UNHEATED- NO CHANGE
+ FF EL. 179'-1 1/4"

EXIST. HOUSE 2,066.73 SF +
1,105.65 SF DAYLIGHT
BASEMENT - NO CHANGE

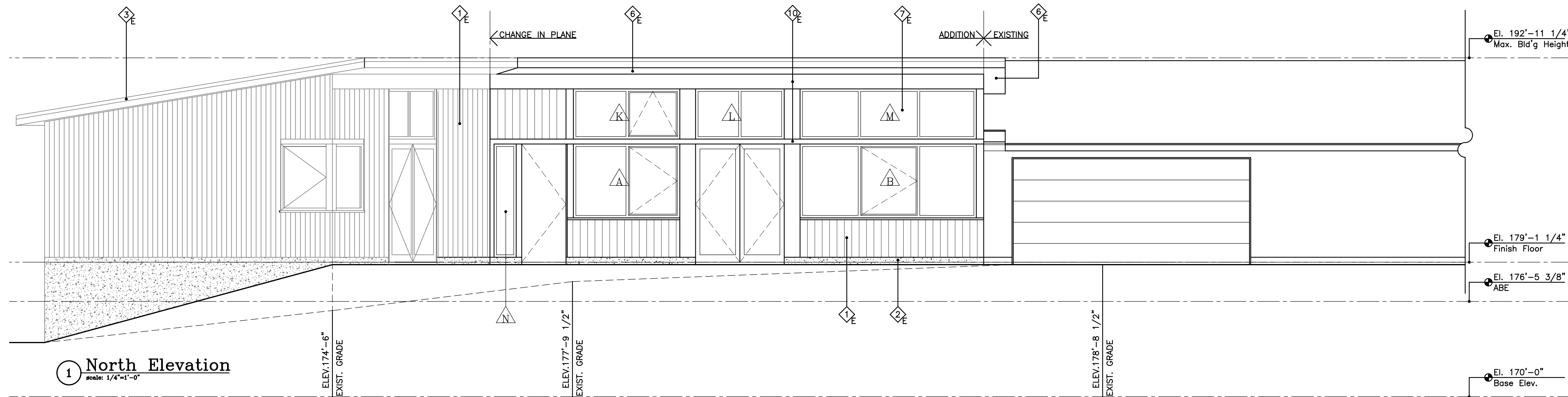
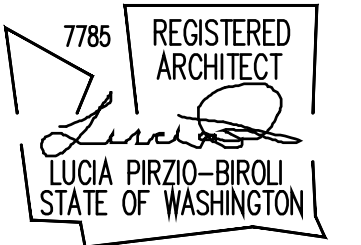
Date:
1 October 2022 Sub 1

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Main Floor Plan
A2.1

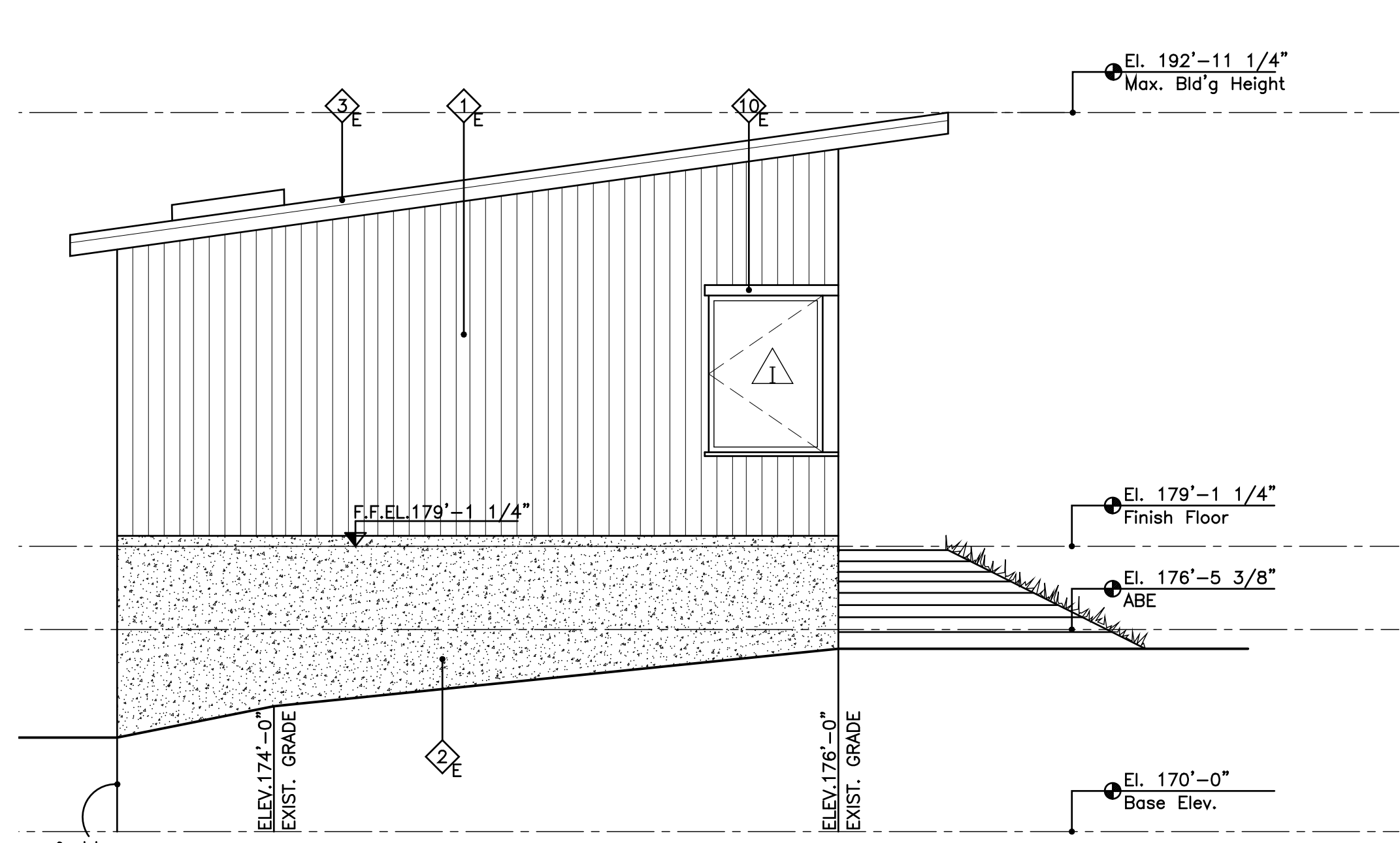


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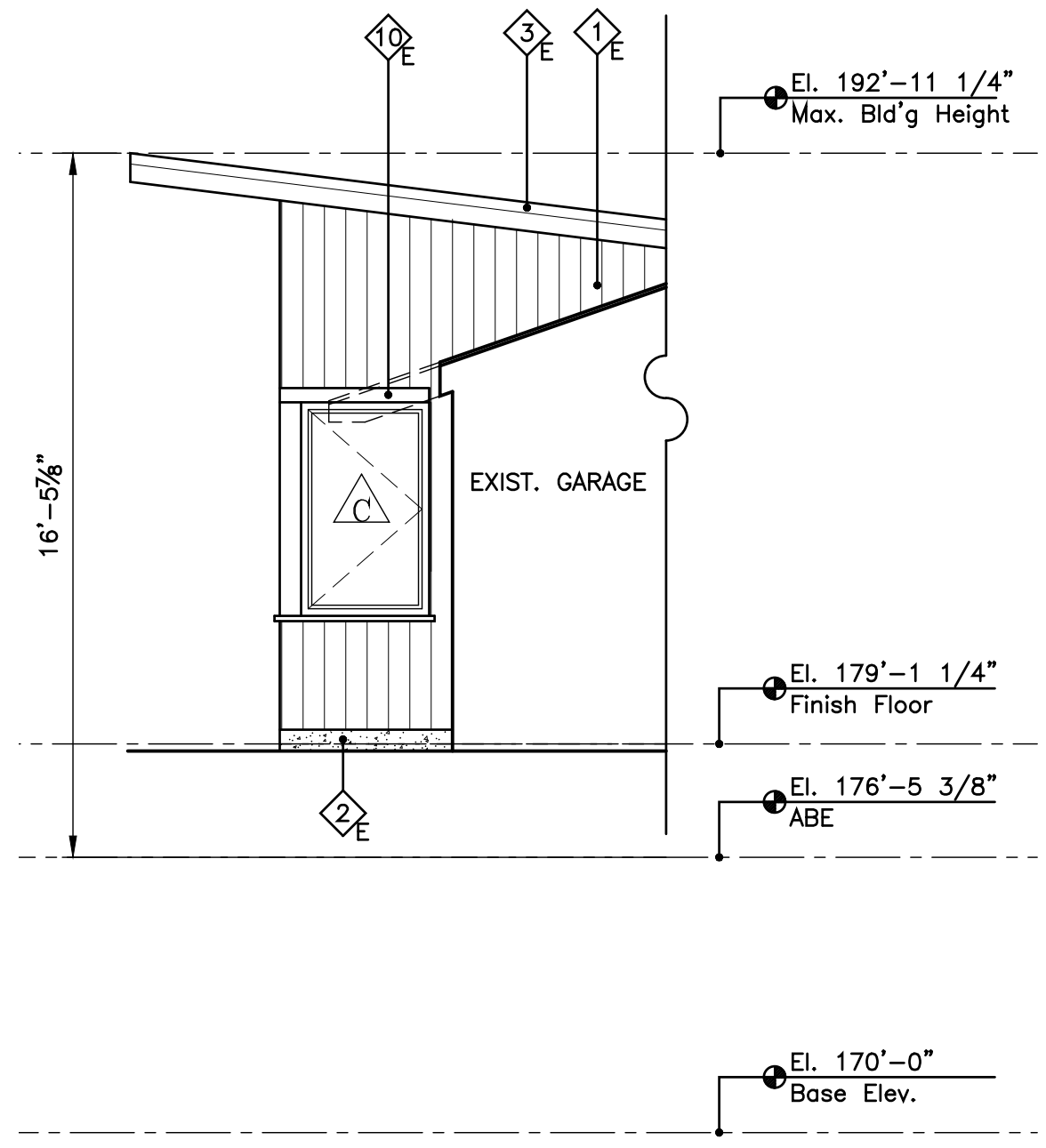
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1 North Elevation
scale: 1/4"=1'-0"



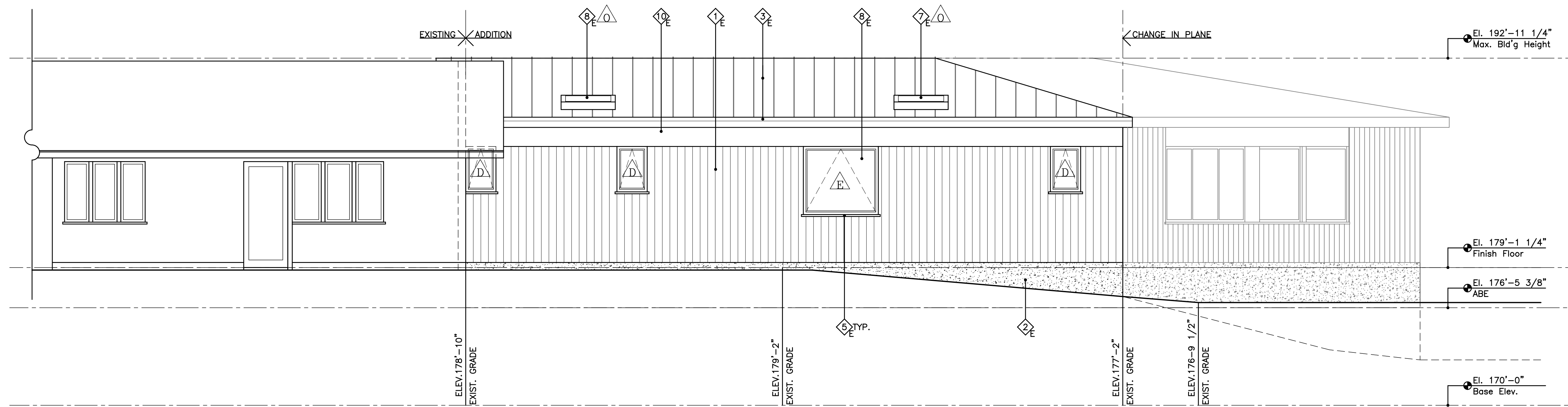
2 North/East Elevation
scale: 1/4"=1'-0"



3 Partial East Elevation
scale: 1/4"=1'-0"

EXTERIOR MATERIALS LEGEND

- 1 6" CLEAR CEDAR VERTICAL SHIP-LAP SIDING OVER RAIN SCREEN - STAIN COLOR T.B.D.
- 2 EXPOSED CAST IN PLACE (CIP) CONCRETE FOUNDATION STEM WALL
- 3 16" STANDING SEAM METAL ROOF WITH RELATED TRIM AND FLASHING - COLOR T.B.D.
- 4 SCUPPERS, GUTTERS AND DOWNSPOUTS & TRIMS - MATCH METAL ROOF
- 5 CEDAR WOOD TRIM & SILL - MATCH VERTICAL SIDING
- 6 VENEER PLYWOOD SOFFIT - CONCEALED FASTENERS - STAIN COLOR T.B.D.
- 7 FIBERGLASS "MARVIN" WINDOWS & DOORS UNLESS OTHERWISE SPECIFIED
- 8 METAL CLAD "VELUX" SKYLIGHT - COLOR TO MATCH METAL ROOF
- 9 METAL PANELING - COLOR TO MATCH WINDOWS AND DOORS COLOR
- 10 STEEL FLASHING AT DOORS & WINDOWS HEAD



4 South Elevation
scale: 1/4"=1'-0"

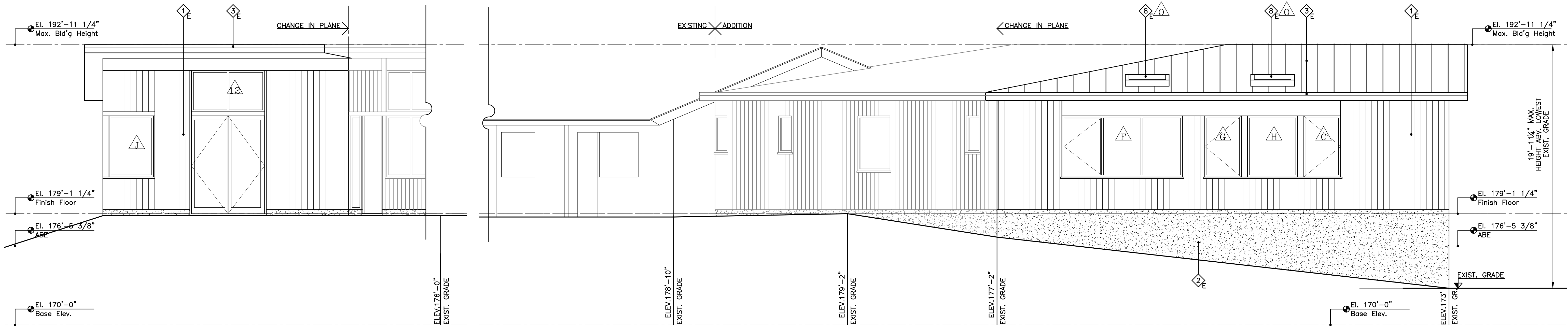
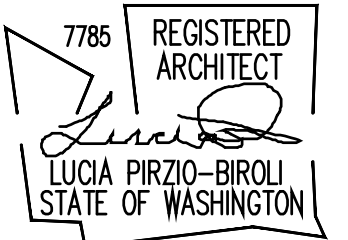
MORGAN-HORNSBY RESIDENCE

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Mercer Island, WA 98040

Date:
1 October 2022 Sub 1

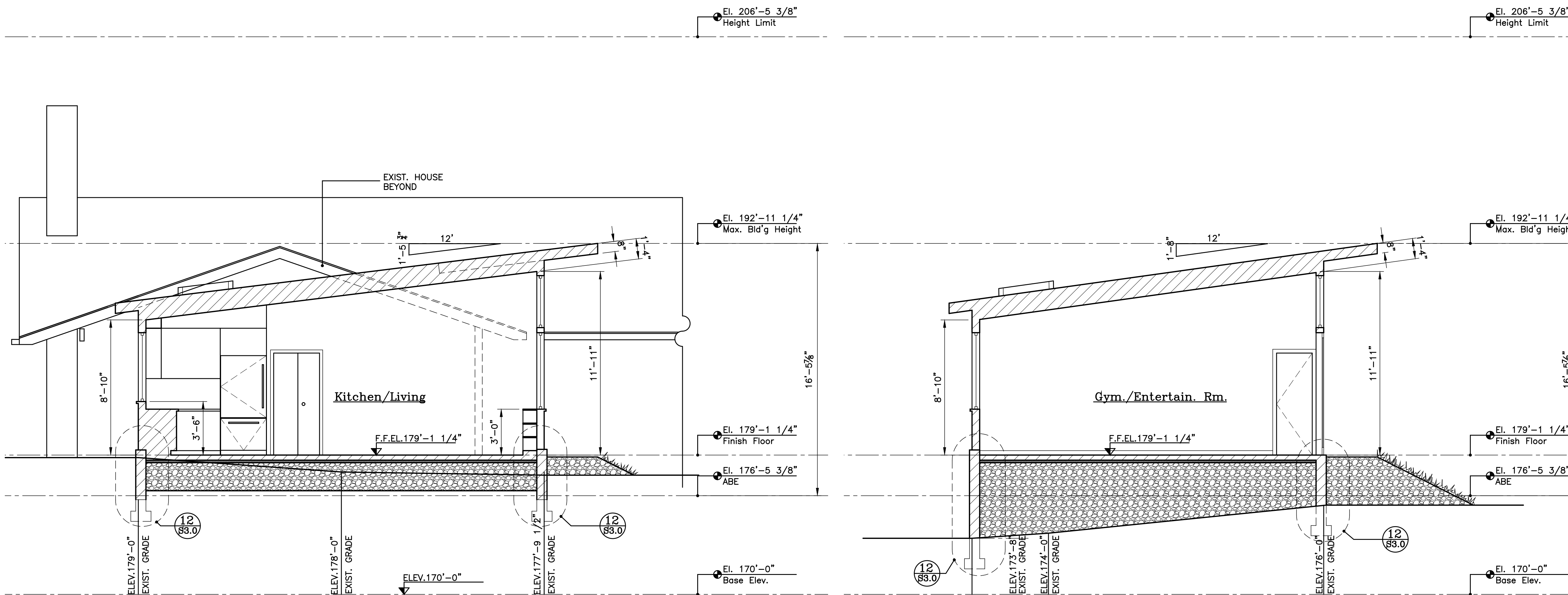
Scale:
Sheet:
Elevations

A3.1



1 Partial North/West Elevation
scale: 1/4"=1'-0"

2 South/East Elevation
scale: 1/4"=1'-0"



3 Building Section
scale: 1/4"=1'-0"

4 Building Section
scale: 1/4"=1'-0"

EXTERIOR MATERIALS LEGEND

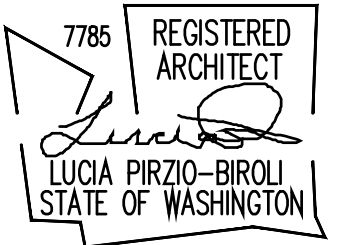
- 1 6" CLEAR CEDAR VERTICAL SHIP-LAP SIDING OVER RAIN SCREEN - STAIN COLOR T.B.D.
- 2 EXPOSED CAST IN PLACE (CIP) CONCRETE FOUNDATION STEM WALL
- 3 16" STANDING SEAM METAL ROOF WITH RELATED TRIM AND FLASHING - COLOR T.B.D.
- 4 SCUPPERS, GUTTERS AND DOWNSPOUTS & TRIMS - MATCH METAL ROOF
- 5 CEDAR WOOD TRIM & SILL - MATCH VERTICAL SIDING
- 6 VENEER PLYWOOD SOFFIT - CONCEALED FASTENERS - STAIN COLOR T.B.D.
- 7 FIBERGLASS "MARVIN" WINDOWS & DOORS UNLESS OTHERWISE SPECIFIED
- 8 METAL CLAD "VELUX" SKYLIGHT - COLOR TO MATCH METAL ROOF
- 9 METAL PANELING - COLOR TO MATCH WINDOWS AND DOORS COLOR
- 10 STEEL FLASHING AT DOORS & WINDOWS HEAD

MORGAN-HORNSBY RESIDENCE

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Date:
1 October 2022 Sub 1

Scale:
Sheet:
Elevations

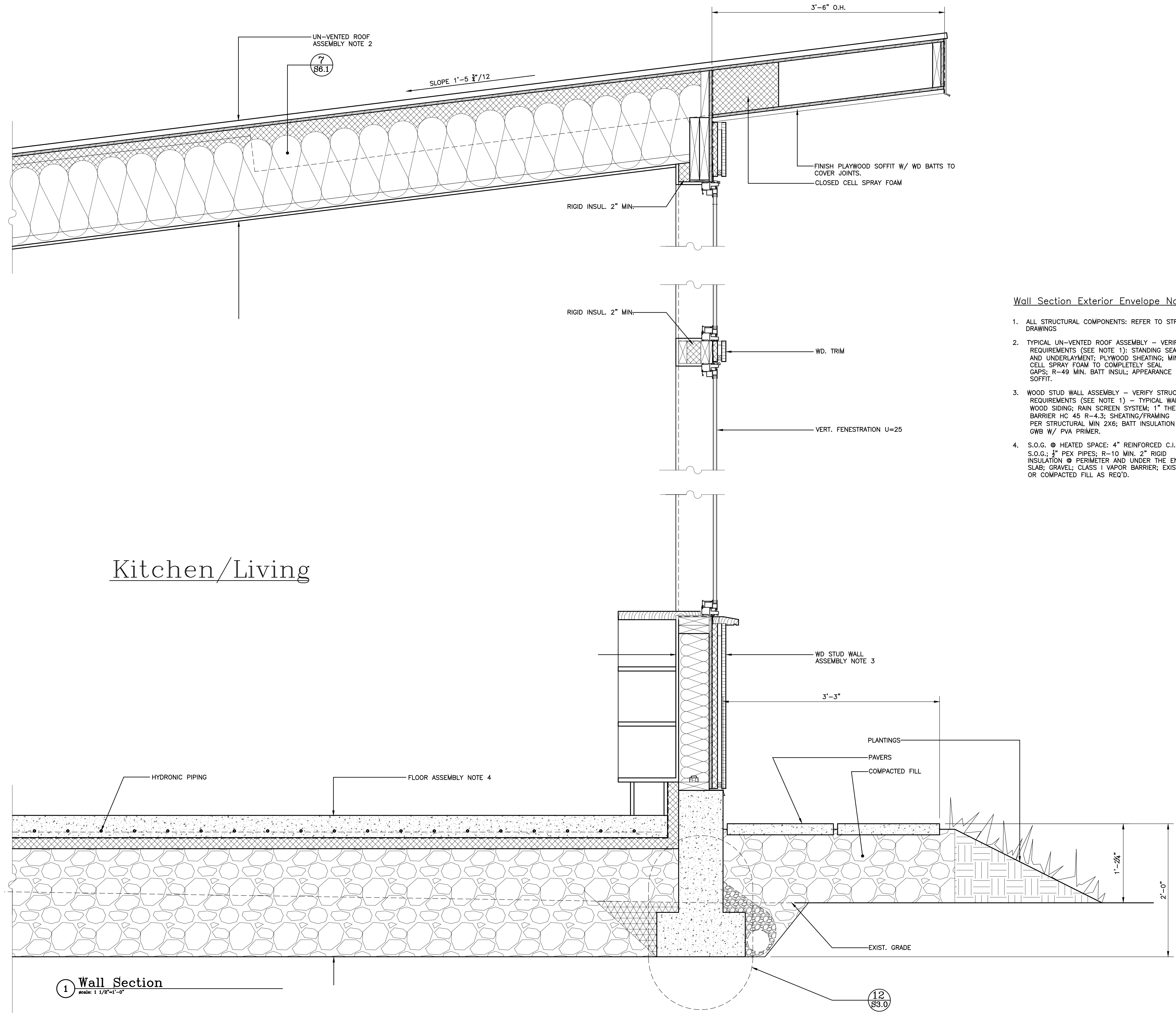


MORGAN-HORNSBY RESIDENCE

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Date:	1 October 2022 Sub 1

Scale:
Sheet:
Wall Section



- Wall Section Exterior Envelope Notes**
1. ALL STRUCTURAL COMPONENTS: REFER TO STRUCTURAL DRAWINGS
 2. TYPICAL UN-VENTED ROOF ASSEMBLY - VERIFY STRUCT. REQUIREMENTS (SEE NOTE 1); STANDING SEAM METAL ROOF AND UNDERLAYMENT; PLYWOOD SHEATING; MIN. 2" CLOSED CELL SPRAY FOAM TO COMPLETELY SEAL GAPS; R-49 MIN. BATT INSUL; APPEARANCE GRADE PLYWOOD SOFFIT.
 3. WOOD STUD WALL ASSEMBLY - VERIFY STRUCT. REQUIREMENTS (SEE NOTE 1) - TYPICAL WALL: VERTICAL WOOD SIDING; RAIN SCREEN SYSTEM; 1" THERMAFIBER RAIN BARRIER HC 45 R-4.3; SHEATING/FRAMING PER STRUCTURAL MIN 2X6; BATT INSULATION (R-21 MIN.); GWB W/ PVA PRIMER.
 4. S.O.G. @ HEATED SPACE: 4" REINFORCED C.I.P. S.O.G.; 1/2" PEX PIPES; R-10 MIN. 2" RIGID INSULATION @ PERIMETER AND UNDER THE ENTIRE SLAB; GRAVEL; CLASS 1 VAPOR BARRIER; EXIST. OR COMPACTED FILL AS REQ'D.

Kitchen/Living

1 Wall Section
scale: 1/8"=1'-0"

12
S3.0



Window Schedule

TAG	WINDOW R.O.		UNIT AREA	QTY.	TOTAL	MAX U-VALUE NOTE 8	UA VALUE	HEAD HEIGHT (ASF)	TYPE OPERATION	SCREEN	TYPE	FRAME / FINISH	GLASS	MANUF.	CLAD COLOR	NOTES
	Notes 1, 2 & 9												square ft.			
	width	height														
A	7'-3"	x 5'-0"	36.25 SQ. FT.	1	36.3 SQ. FT.	0.25	9.1 SQ. FT.	8'-0"	FIX/CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	TG / ALIGN MULLIONS W/ WINDOW K ABV.
B	11'-11 1/4"	x 5'-0"	59.7 SQ. FT.	1	59.7 SQ. FT.	0.25	14.9 SQ. FT.	8'-0"	FIX/CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	TG / ALIGN MULLIONS W/ WINDOW M ABV.
C	3'-0"	x 5'-0"	15.0 SQ. FT.	2	30.0 SQ. FT.	0.25	7.5 SQ. FT.	8'-0"	CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	EGRESS PER IRC R310
D	2'-0"	x 3'-0"	6.0 SQ. FT.	3	18.0 SQ. FT.	0.25	4.5 SQ. FT.	8'-0"	AWN	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	OBSCURED
E	4'-11 1/2"	x 4'-6"	22.3 SQ. FT.	1	22.3 SQ. FT.	0.25	5.6 SQ. FT.	8'-0"	AWN	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	-
F	9'-10 1/2"	x 5'-0"	49.4 SQ. FT.	1	49.4 SQ. FT.	0.25	12.3 SQ. FT.	8'-0"	FIX/CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	EGRESS PER IRC R310
G	3'-0"	x 5'-0"	15.0 SQ. FT.	1	15.0 SQ. FT.	0.25	3.8 SQ. FT.	8'-0"	CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	-
H	4'-1"	x 5'-0"	20.4 SQ. FT.	1	20.4 SQ. FT.	0.25	5.1 SQ. FT.	10'-4"	FIX	NO	-	FIBERGLASS / BLACK	DBL/LOW-E/ARGON	MARVIN-ESSENTIAL	-	COORD. W/ WINDOWS G & C
I	3'-8"	x 5'-0"	18.3 SQ. FT.	1	18.3 SQ. FT.	0.25	4.6 SQ. FT.	8'-0"	CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	COORD. W/ WINDOW J
J	3'-8"	x 5'-0"	18.3 SQ. FT.	1	18.3 SQ. FT.	0.25	4.6 SQ. FT.	8'-0"	FIX	NO		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	COORD. W/ WINDOW I
K	7'-2 1/2"	x 3'-4 3/4"	24.5 SQ. FT.	1	24.5 SQ. FT.	0.25	6.1 SQ. FT.	11'-8 3/4"	FIX/CASE	YES		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	ALIGN MULLIONS W/ WINDOW A
L	6'-0"	x 3'-5"	20.4 SQ. FT.	2	40.8 SQ. FT.	0.25	10.2 SQ. FT.	11'-8 3/4"	FIX	NO		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	ALIGN MULLIONS W/ DOOR 2
M	11'-1 1/4"	x 3'-4 3/4"	37.7 SQ. FT.	1	37.7 SQ. FT.	0.25	9.4 SQ. FT.	11'-8 3/4"	FIX	NO		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	ALIGN MULLIONS W/ WINDOW B
N	1'-8"	x 8'-0"	13.3 SQ. FT.	1	13.3 SQ. FT.	0.25	3.3 SQ. FT.	8'-0"	FIX	NO		FIBERGLASS / BLACK	DBL/LO-E/ARGON	MARVIN-ESSENTIAL	-	TG / COORD. W/ DOOR 1
O	3'-0"	x 3'-0"	9.0 SQ. FT.	4	36.0 SQ. FT.	0.50	18.0 SQ. FT.	-	OPERABLE	YES		CLAD/PVC/BLACK	DBL/LO-E/ARGON	VELUX	BLACK	SOLAR POWERED W/ SCREEN & SHADE
WINDOW UA:			WINDOW AREA	440.0 SQ. FT.	TOTAL UA	119.0 SQ. FT.										

WINDOW NOTES:

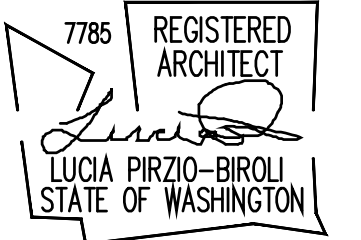
- CONTRACTOR SHALL MEASURE ACTUAL FRAMED OPENINGS PRIOR TO ORDERING UNITS. ROUGH OPENING PER MANUFACTURER'S REQUIREMENTS.
- UNIT BREAK DOWN W/ IN ROUGH OPENING
- WINDOW MANUFACTURER: MARVIN - ESSENTIAL EXCEPT AS NOTED OTHERWISE
- WINDOW MANUFACTURER TO VERIFY OPERATION AND WIDTH OPENING - COORDINATE WITH ARCHITECT WHERE DIFFERS FROM DRAWINGS
- TEMPERED GLASS: WITHIN TWO FEET OF ALL EXTERIOR DOORS, WITHIN 18" OF FLOOR, IN SHOWERS AND OTHER HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC R308.4
- GLASS - LO-E3/LOW ERS / ARGON FILLED AT ALL MARVIN WINDOWS.
- EGRESS WINDOWS AT SLEEPING ROOMS SHALL MEET IRC R310
- EC 1.2: EFFICIENT BUILDING ENVELOPE ALL NEW EXTERIOR WINDOWS SHALL MEET MINIMUM U-25 MINIMUM COMPLIANCE.
- WHERE MULTIPLE UNITS MULLED TOGETHER - LETTERED UNIT IS OVERALL & EFFICIENCY. LETTERED/NUMBERED UNITS ARE BREAKDOWN
- OBSCURED GLASS AS NOTED.
- SCREENS ON ALL OPERABLE WINDOWS.

ABBREVIATIONS

- | | |
|-------|------------------|
| AWN | AWNING |
| CASE | CASEMENT |
| CLR | CLEAR |
| DBL | DOUBLE GLAZING |
| FIX | FIXED |
| HC | HOLLOW CORE |
| LAM | LAMINATED |
| LO-E | LOW-EMISSIVITY |
| MIN | MINUTE |
| OBS | OBSOLETE |
| R.O. | ROUGH OPENING |
| SC | SOLID CORE |
| SLD | SLIDING |
| SL | SKYLIGHT |
| STORE | STOREFRONT |
| TBD | TO BE DETERMINED |
| TG | TEMPERED GLASS |
| TRPL | TRIPLE |
| UA | U-VALUE AREA |
| WD | WOOD |

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Mercer Island, WA 98040

Date:
1 October 2022 Sub 1

Scale:

Sheet:

Window
Schedule
A9.1



Exterior Door to Conditioned Space

TAG	PANEL SIZE		UNIT AREA square ft.	PANEL QTY.	TOTAL door area	MAX U-VALUE	UA VALUE	Thickness	TYPE	HARDWARE NOTE 3	MATERIAL/FINISH	FRAME/FINISH	GLASS NOTE 10	MANUF.	COLOR	NOTES
	width	height														
1	3'-0"	x 8'-0"	24.0 SQ. FT.	1	24.0 SQ. FT.	.46	11.0 SQ. FT.	0'-1 3/4"	STORE/SC/SLAB	DEADBOLT/LEVER	MOHOGANY/CLR	WD./INSULATED/STAIN	-	TBD		THERMALLY BROKEN SILL, COORD W/ SIDELIGHT WINDOW "N"
2	2'-6"	x 8'-0"	20.0 SQ. FT.	2	40.0 SQ. FT.	.25	10.0 SQ. FT.	0'-1 3/4"	FRENCH DOORS	DEADBOLT/LEVER	MARVIN	FIBERGLASS	DBL/LO-E/ARGON/TG	MARVIN	MATCH WINDOW FRAME	COORD. W/ WINDOW 'L' ABV.
3	2'-6"	x 8'-0"	20.0 SQ. FT.	2	40.0 SQ. FT.	.25	10.0 SQ. FT.	0'-1 3/4"	FRENCH DOORS	DEADBOLT/LEVER	MARVIN	FIBERGLASS	DBL/LO-E/ARGON/TG	MARVIN	MATCH WINDOW FRAME	COORD. W/ WINDOW "L"
4	3'-0"	x 6'-8"	20.0 SQ. FT.	1	20.0 SQ. FT.	.46	9.2 SQ. FT.	0'-1 3/4"	SC/FLUSH/INSULATED	SELF-CLOSING/LEVER/DEADBOLT	BIRCH/CLR	WD./INSULATED/STAIN	-	TBD		20 MIN. DOOR/PROVIDE SEPARATE LOCKS BOTH SIDES/THERMALLY BROKEN SILL
AREA DOORS IMPACTING UA:			EXT. DOOR AREA		104.0 SQ. FT.	TOTAL UA	31.0 SQ. FT.									

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WINDOW & EXTERIOR DOOR NOTES:

- CONTRACTOR SHALL MEASURE ACTUAL FRAMED OPENINGS PRIOR TO ORDERING UNITS. ROUGH OPENING PER MANUFACTURER'S REQUIREMENTS.
- UNIT BREAK DOWN W/ IN ROUGH OPENING
- (3) MINIMUM HEAVY DUTY CONCEALED HINGES MIN. AT ALL EXTERIOR SWING DOORS
- 3 POINT LOCKING SYSTEM MINIMUM AT BI-FOLD DOORS
- MANUFACTURER: LOEWEN EXCEPT AS NOTED OTHERWISE
- WINDOW MANUFACTURER TO VERIFY OPERATION AND WIDTH OPENING - COORDINATE WITH ARCHITECT WHERE DIFFERS FROM DRAWINGS
- TEMPERED GLASS: WITHIN TWO FEET OF ALL EXTERIOR DOORS, WITHIN 18" OF FLOOR, IN SHOWERS AND OTHER HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC R308.4
- GLASS - LO-E3/LOW ERS / ARGON FILLED AT ALL MARVIN WINDOWS AND EXTERIOR DOORS.
- EGRESS WINDOWS AT SLEEPING ROOMS SHALL MEET IRC R310
- BO 1.2. EFFICIENT BUILDING ENVELOPE ALL NEW EXTERIOR WINDOWS AND GLAZED DOORS SHALL MEET MINIMUM U-20 MINIMUM COMPLIANCE.
- OBSCURED GLASS AS NOTED.
- SCREENS ON ALL OPERABLE WINDOWS, SLIDING GLASS DOORS AND SWING DOORS AS NOTED.

ABBREVIATIONS

AWN	AWNING
CASE	CASEMENT
CLR	CLEAR
DBL	DOUBLE GLAZING
FIX	FIXED
HC	HOLLOW CORE
LAM	LAMINATED
LO-E	LOW-EMISSIVITY
MIN	MINUTE
OBS	OBSCURE
R.C.	ROLLER CATCH
R.O.	ROUGH OPENING
SC	SOLID CORE
SLD	SLIDING
SL	SKYLIGHT
STORE	STOREFRONT
TBD	TO BE DETERMINED
TG	TEMPERED GLASS
TRPL	TRIPLE
UA	U-VALUE AREA
WD	WOOD



MORGAN-HORNSBY RESIDENCE

Remodel/Addition

6405 W. Mercer Way

Mercer Island, WA 98040

Interior Door Schedule

TAG	PANEL SIZE (NOTE #4)		PANEL QTY.	UNIT AREA square ft.	Thickness	TYPE	LOCATION	MATERIAL/ FINISH	GLASS	HARDWARE NOTE 4	MANUF.	NOTES
	width	height										
5	3'-0"	x 6'-8"	1	20.0 SQ. FT.	0'-1 3/8"	SC/SLAB	VESTIBULE	BIRCH/CLR	N/A	LEVER	TBD.	
6	2'-8"	x 6'-8"	1	17.8 SQ. FT.	0'-1 3/8"	SC/SLAB/PKT	STUDY	BIRCH/CLR	N/A	FLUSH PULL/PRIVACY	TBD	
7	2'-8"	x 6'-8"	1	17.8 SQ. FT.	0'-1 3/8"	SC/SLAB/PKT	BATH #2	BIRCH/CLR	N/A	FLUSH PULL/PRIVACY	TBD	
8	2'-8"	x 6'-8"	2	17.8 SQ. FT.	0'-1 3/8"	SC/SLAB/PKT	KITCHEN/VEST	BIRCH/CLR	N/A	FLUSH PULL/PRIVACY	TBD	
9	3'-0"	x 6'-8"	1	20.0 SQ. FT.	0'-1 3/4"	SC/SLAB	KITCHEN/BED RM	BIRCH/CLR	N/A	LEVER/PRIVACY	TBD	
10	3'-0"	x 6'-8"	1	20.0 SQ. FT.	0'-1 3/8"	SC/SLAB	KITCHEN/UTILITY RM	BIRCH/CLR	N/A	LEVER	TBD	
11	2'-6"	x 6'-8"	1	16.7 SQ. FT.	0'-1 3/8"	SC/SLAB	ENTRY COAT	BIRCH/CLR	N/A	PULL/RC	TBD	
12	2'-4"	x 6'-8"	1	15.6 SQ. FT.	0'-1 3/8"	SC/SLAB	ENTRY/GYM	BIRCH/CLR	N/A	LEVER/PRIVACY	TBD	
13	2'-8"	x 6'-8"	1	17.8 SQ. FT.	0'-1 3/8"	SC/SLAB/PKT	WALK-IN CLOSET	BIRCH/CLR	N/A	FLUSH PULL	TBD	
14	2'-4"	x 6'-8"	1	15.6 SQ. FT.	0'-1 3/8"	SC/SLAB/PKT	BATH #1	BIRCH/CLR	N/A	FLUSH PULL/PRIVACY	TBD	
15	1'-4"	x 6'-8"	4	8.9 SQ. FT.	0'-1 3/8"	BI-FOLD/SLAB	MECHANICAL	BIRCH/CLR	N/A	PULL	TBD	
16	2'-6"	x 6'-6"	1	16.3 SQ. FT.	0'-0 1/2"	-	BATH #1	FRAMELESS SHOWER	LAMINATED/TG	CHROME HINGES/PULL	TBD	COORD. W/ LAMINATED/TG SIDE WALL/CHROME BARN DOOR HARDWARE
17	2'-6"	x 6'-6"	1	16.3 SQ. FT.	0'-0 1/2"	-	BATH #2	FRAMELESS SHOWER	LAMINATED/TG	CHROME HINGES/PULL	TBD	COORD. W/ LAMINATED/TG SIDE WALL/CHROME BARN DOOR HARDWARE
18	2'-6"	x 6'-8"	2	16.7 SQ. FT.	0'-1 3/8"	SC/SLAB/BI-PASS SLIDING	STUDY	BIRCH/CLR	N/A	PULL	TBD	
19	1'-10"	x 6'-8"	1	12.2 SQ. FT.	0'-1 3/8"	SC/SLAB	BROOM CLOSET	BIRCH/CLR	N/A	FLUSH PULL	TBD	

INTERIOR DOOR NOTES:

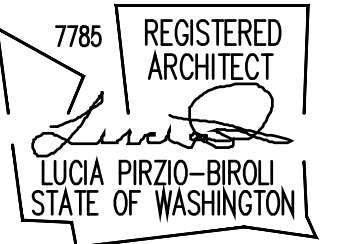
- ALL NON-CLOSET FLUSH DOORS - SOLID CORE
- (3) HINGES MINIMUM
- HANDLE LEVER UNO
- UNDERCUT DOORS 1/2" TO HABITABLE SPACES AS NECESSARY TO MEET WHOLE HOUSE VENTILATION REQUIREMENTS
- MEASURE PRIOR TO ORDERING DOORS.

Date:
1 October 2022 Sub 1

Scale:

Sheet:

Door
Schedule
A9.2



MORGAN-HORNSBY RESIDENCE

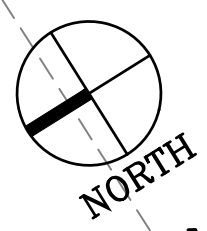
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Power and Lighting Legend

- xx CFM Recessed Ceiling Mounted Exhaust Fan
- SC Recessed Ceiling Mounted Smoke Detector/Carbon Monoxide
- HD Heat Detector / Heat Alarm
- C Cable Connection
- F Floor Mounted Cable Connection
- D Dedicated Data Outlet (CatVI)
- S Switch
- S Multi-way Switch, Multi-way
- S Dimmer Switch, Dimmer
- S Multi-way Dimmer Switch, Dimmer/Multi-way
- Dr. Act. Switch, Door Activated
- Duplex Outlet Duplex Outlet
- GFI Ground Fault Circuit Interrupter
- WP Exterior Duplex Outlet
- Four-plex Outlet Four-plex Outlet
- Floor Mounted Duplex Outlet Floor Mounted Duplex Outlet
- Strip Outlets Strip Outlets
- 220V 220 V Outlet
- P Breaker Panel
- M Meter
- S Security Panel
- xx Recessed Ceiling Mounted LED Downlight
- xx Recessed Ceiling Mounted LED Wallwasher
- xx Surface Ceiling Mounted LED Downlight
- Sxx Surface Mounted Wall LED Sconce
- TLxx Surface Mounted Track LED Lighting
- UCxx Surface Mounted Undercabinet Strip LED Lighting
- RLxx Ribbon LED linear light
- Pxx Pendant Fixture
- Pxx Cluster Pendant Fixture
- SDLx Surface Mounted Downlight
- xx Surface Mounted LED Batten Fixture
- xx Recessed Mounted Wall LED Washer
- xx Recessed Wall LED Light
- xx Exterior Recessed Ceiling Mounted LED Downlight
- xx Exterior Ground LED Light
- Sxx Exterior Surface Mounted Wall LED Sconce
- SLx Exterior Recessed Wall LED Step Light
- DBx Exterior Direct Burial Uplight
- xx Pool Light
- Waste Disposal Waste Disposal
- Level 2 240V EV Charger Level 2 240V EV Charger
- Ceiling Fan with Light Ceiling Fan with Light
- SC Security Camera w/ Night Vision Capability

NOTES:
1- INSTALL 13D FIRE ALARM SYSTEM
2- INSTALL COMPREHENSIVE SECURITY
3- OVERHEAD POWER LINE TO BE RELOCATED UNDERGROUND



1 Main Floor Electrical Plan
Scale: 1/4"=1'-0"

Date:
1 October 2022 Sub 1

Scale:

Sheet:
Main Floor
Electrical Plan
E2.1

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

25. **TIMBER CONNECTORS** CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER TO ACHIEVE THE MAXIMUM PUBLISHED ALLOWABLE LOAD. ALL CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. SHIMS, WHERE REQUIRED, SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

UNLESS OTHERWISE NOTED ON THE PLANS, APA RATED ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND ATTACHED WITH 10d NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE AND GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d NAILS @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND FASTEN SHEATHING TO FRAMING/BLOCKING AS SPECIFIED.

ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. ALL LAG SCREWS SHALL BE INSTALLED IN PRE-DRILLED HOLES.

UNLESS NOTED OTHERWISE ALL SAWN LUMBER JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS AND ALL PREFABRICATED PLYWOOD WEB JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "IUS" SERIES JOIST HANGERS.

ALL CONNECTIONS/FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD, SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL. HOT DIPPED GALVANIZED FASTENERS SHOULD CONFORM TO ASTM STANDARD 153, AND HOT DIPPED GALVANIZED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). STAINLESS STEEL FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316. NOTE: ELECTROPLATED GALVANIZED FASTENERS AND CONNECTORS ARE NOT TO BE USED WITH PRESSURE TREATED WOOD. SIMPSON PRODUCT FINISHES CORRESPONDING TO THE ABOVE REQUIREMENTS ARE ZMAX (HOT DIPPED GALVANIZED) AND SST300 (STAINLESS STEEL). STAINLESS STEEL HARDWARE AND FASTENERS SHALL NOT BE COMBINED WITH UNTREATED OR GALVANIZED MATERIAL.

26. **WOOD FASTENERS:**

A. **NAIL SIZES** SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d	3-1/2"	0.162"

DESIGN IS BASED ON COMMON STEEL WIRE NAILS MEETING THE REQUIREMENTS OF ASTM F1667. USE OF ALTERNATE FASTENERS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

B. **NAILS** — PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

27. **WOOD FRAMING NOTES** — THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS SPECIFIED ABOVE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. INSTALLATION OF BOLTS AND LAG SCREWS SHALL CONFORM TO SECTIONS 12.1.3 AND 12.1.4 OF THE 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. NATURALLY DURABLE OR PRESSURE TREATED WOOD SHALL BE PROVIDED WHERE REQUIRED BY SECTION 2304.12 OF THE INTERNATIONAL BUILDING CODE.
- B. **WALL FRAMING:** ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X6 AT 16" O.C. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2 x 8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED AND SHALL BEAR FULLY ON A MINIMUM OF TWO STUDS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE SOLID BLOCKING BETWEEN STUDS AT MID_HEIGHT OF ALL STUD WALLS OVER 10' IN HEIGHT.

STUDS MAY BE NOTCHED, CUT, OR PENETRATED WITH ROUND BORED HOLES AS FOLLOWS:

STUD SIZE	MAXIMUM NOTCH / CUT	MAXIMUM BORED HOLE
2X4	7/8"	1-3/8"
2X6	1-3/8"	2-1/8"

BORED HOLES SHALL NOT BE LOCATED WITH 5/8" FROM THE EDGE OF THE STUD OR AT THE SAME LOCATION AS A NOTCH OR CUT.

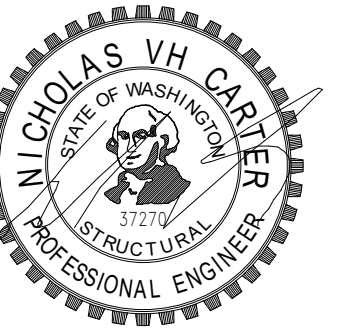
WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d AT 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS AT 4" O.C. EACH SIDE OF JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. PROVIDE 3"x3" x1/4" HOT-DIPPED GALVANIZED PLATE WASHERS AT ALL ANCHOR BOLTS. INDIVIDUAL MEMBERS OF BUILT UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16d NAILS @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5d COOLER NAILS FOR 1/2" GWB AND 6d COOLER NAILS FOR 5/8" GWB. PROVIDE 15/32" APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8d NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

- C. **FLOOR AND ROOF FRAMING:** PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

NOTCHES AT THE END OF JOISTS AND RAFTERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. NOTCHES IN THE TOP OR BOTTOM SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN THE MIDDLE 1/3 OF THE SPAN. THE DIAMETER OF ROUND HOLES BORED IN JOISTS AND RAFTERS SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN 2" FROM THE TOP OR BOTTOM EDGE.

TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12" O.C. ATTACH RAFTERS AND ROOF TRUSSES AT BEARING LINES WITH H2.5 @ 24" O.C. UNLESS OTHER METAL CONNECTIONS ARE INDICATED.



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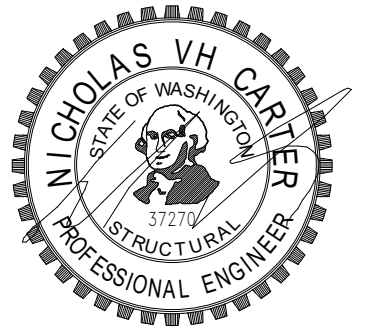
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GENERAL STRUCTURAL
NOTES

S1.01



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FOUNDATION PLAN

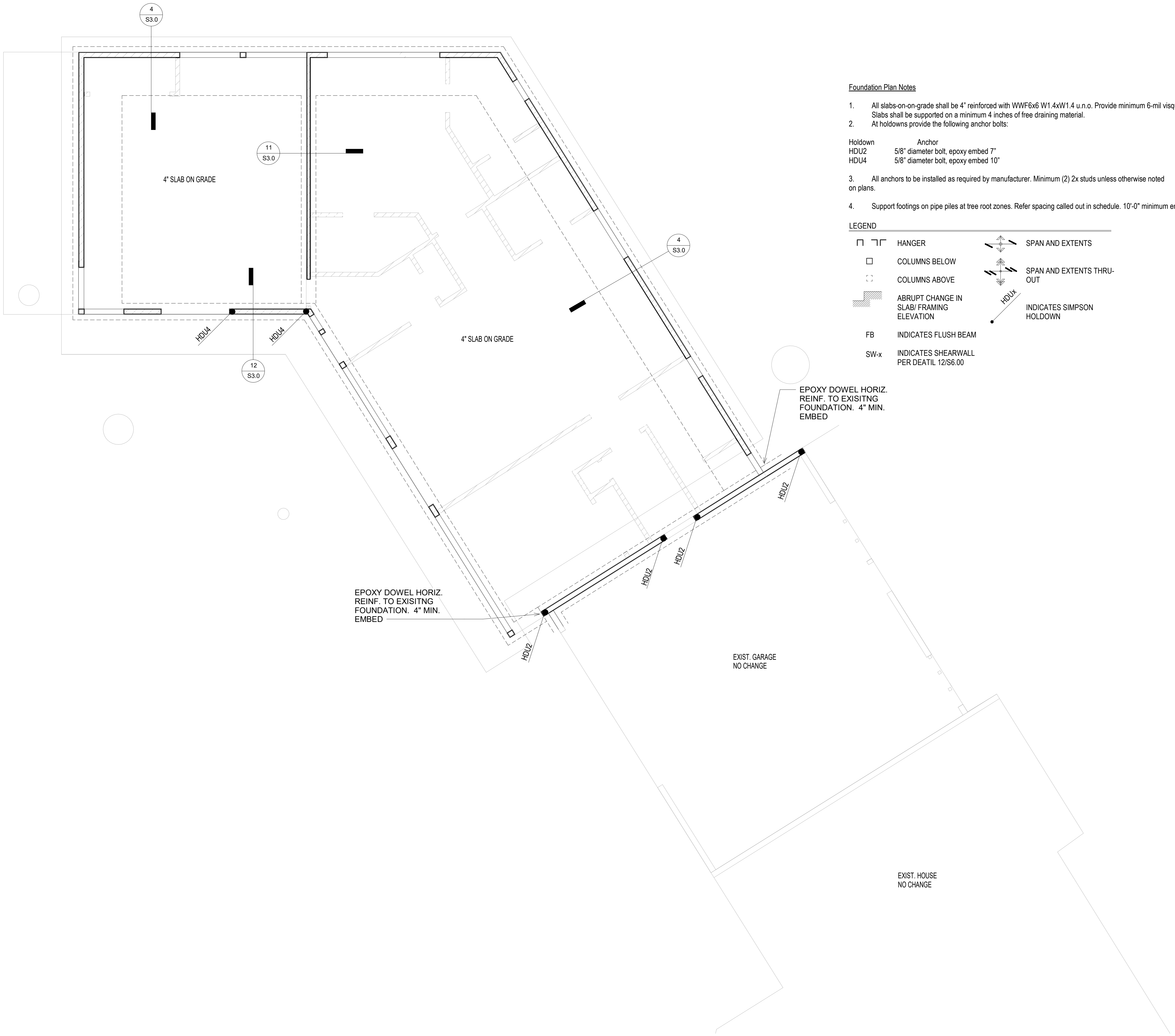
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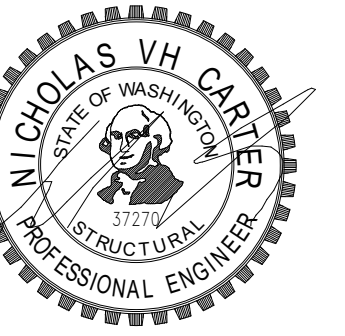
Foundation Plan Notes

- All slabs-on-grade shall be 4" reinforced with WWF6x6 W1.4xW1.4 u.n.o. Provide minimum 6-mil visqueen vapor barrier under all slabs. Slabs shall be supported on a minimum 4 inches of free draining material.
- At holdowns provide the following anchor bolts:
 Holdown Anchor
 HDU2 5/8" diameter bolt, epoxy embed 7"
 HDU4 5/8" diameter bolt, epoxy embed 10"
- All anchors to be installed as required by manufacturer. Minimum (2) 2x studs unless otherwise noted on plans.
- Support footings on pipe piles at tree root zones. Refer spacing called out in schedule. 10'-0" minimum embedment.

LEGEND

□	HANGER		SPAN AND EXTENTS
□	COLUMNS BELOW		SPAN AND EXTENTS THRU-OUT
□	COLUMNS ABOVE		INDICATES SIMPSON HOLDOWN
	ABRUPT CHANGE IN SLAB/FRAMING ELEVATION		
FB	INDICATES FLUSH BEAM		
SW-x	INDICATES SHEARWALL PER DETAIL 12/S6.00		





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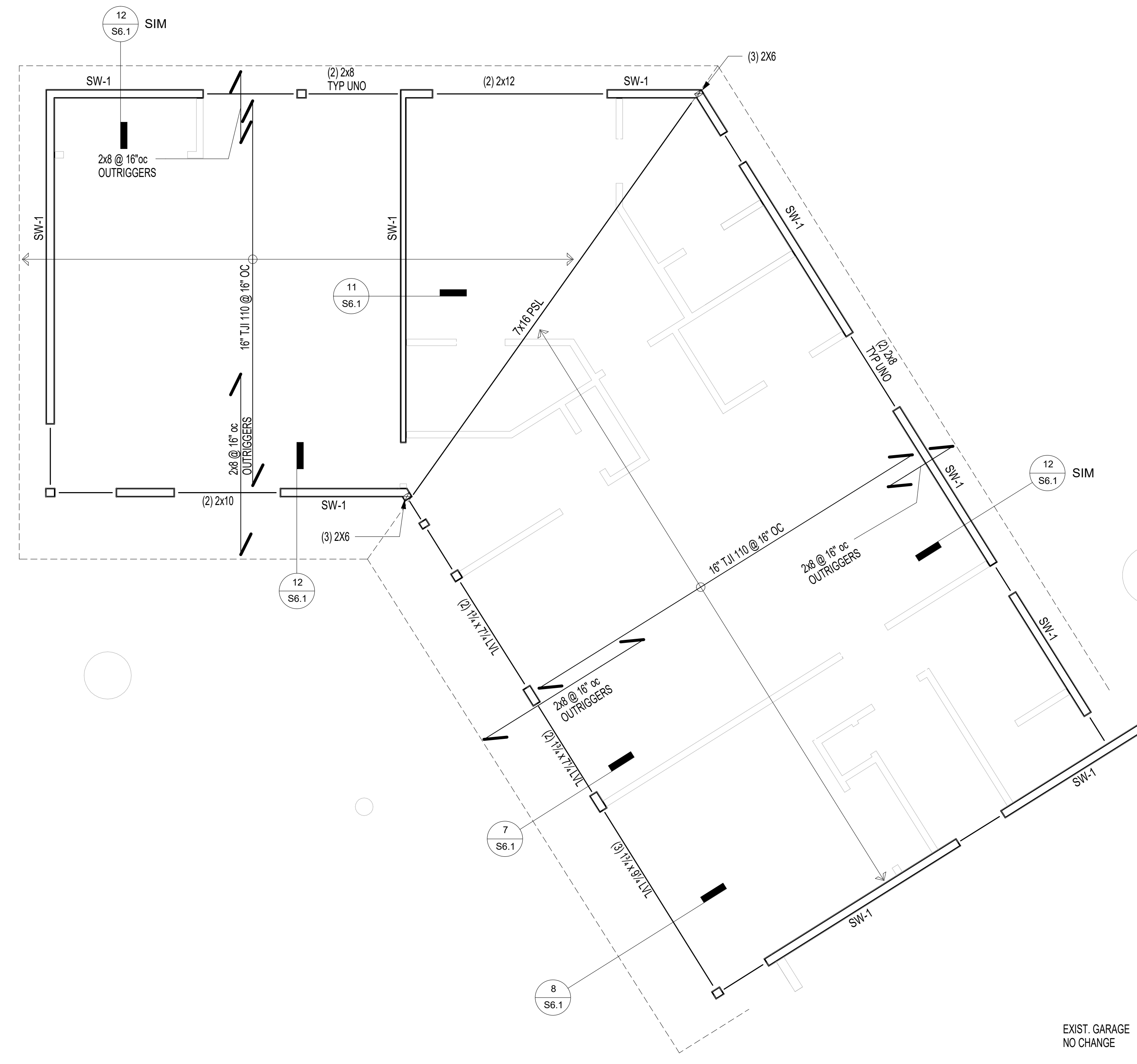
ROOF FRAMING

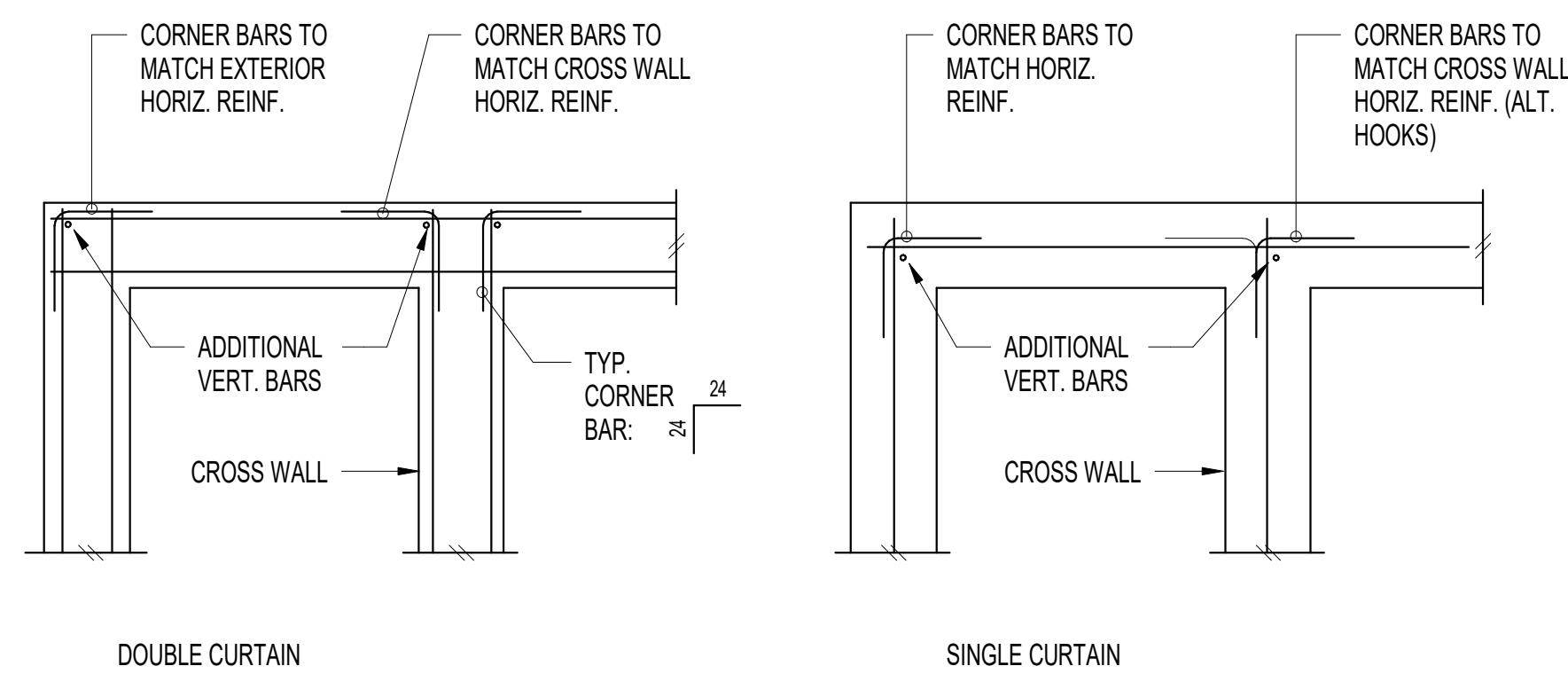
Roof Framing Plan Notes

1. Roof sheathing shall be 15/32" APA Rated sheathing with a panel index of 24/0. Nail to framing with 8d common nails at 6" oc at panel edges and 12" oc in field unless noted otherwise on plans. Where noted on the plans all panel edges shall be block with minimum 2x material.
2. All headers and beams shall be (2) 2x8 minimum, u.n.o. Refer to note 3 for support requirements.
3. All columns shall be double stud minimum, u.n.o., with the beam or header bearing fully on the column. Individual studs shall be nailed together per the general structural notes.
4. Exterior wall sheathing shall be 15/32" APA Rated sheathing with a panel index of 24/0 (Oriented strand board of equivalent thickness, exposure rating, and panel index may be used in lieu of plywood at contractors option).

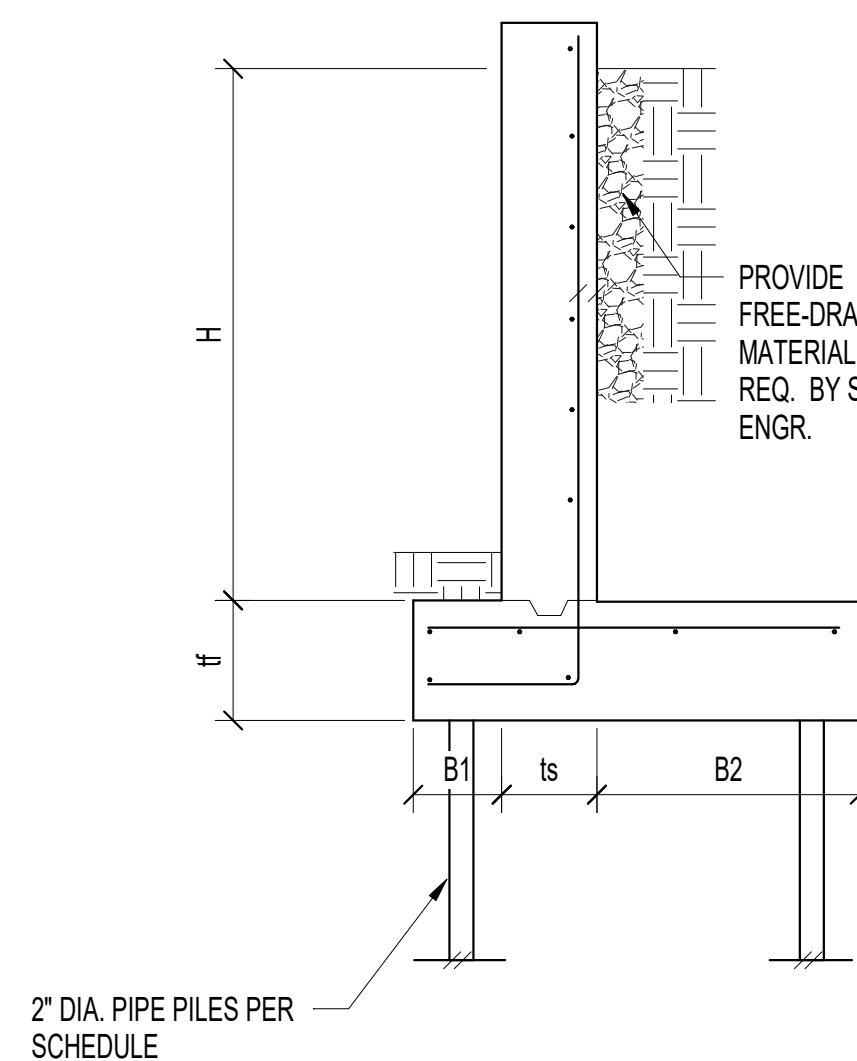
LEGEND

	HANGER		SPAN AND EXTENTS
	COLUMNS BELOW		SPAN AND EXTENTS THRU-OUT
	COLUMNS ABOVE		INDICATES SIMPSON HOLDOWN
	ABRUPT CHANGE IN SLAB/ FRAMING ELEVATION		
FB	INDICATES FLUSH BEAM		
SW-x	INDICATES SHEARWALL PER DETAIL 12/S6.00		





TYPICAL CORNER BARS AT CONCRETE WALLS 2



RETAINING WALL SCHEDULE									
H (Fl.)	B1	ts	B2	tf	STEM REINFORCING		FOOTING REINFORCING		PIPE PILE SPACING
					VERT.	HORIZ.	TOE	HEEL	
3'	6"	8"	2'10"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	29"
3.5'	6"	8"	3'4"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	26"
4'	6"	8"	3'10"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	23"
4.5'	6"	8"	4'4"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	20"
5'	6"	8"	4'10"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	19"
5.5'	6"	8"	5'7"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	16"
6'	6"	8"	6'1"	12"	#4 @ 12"	#4 @ 12"	#5 @ 14"	#5 @ 14"	13"

NOTE TO ENGINEER:

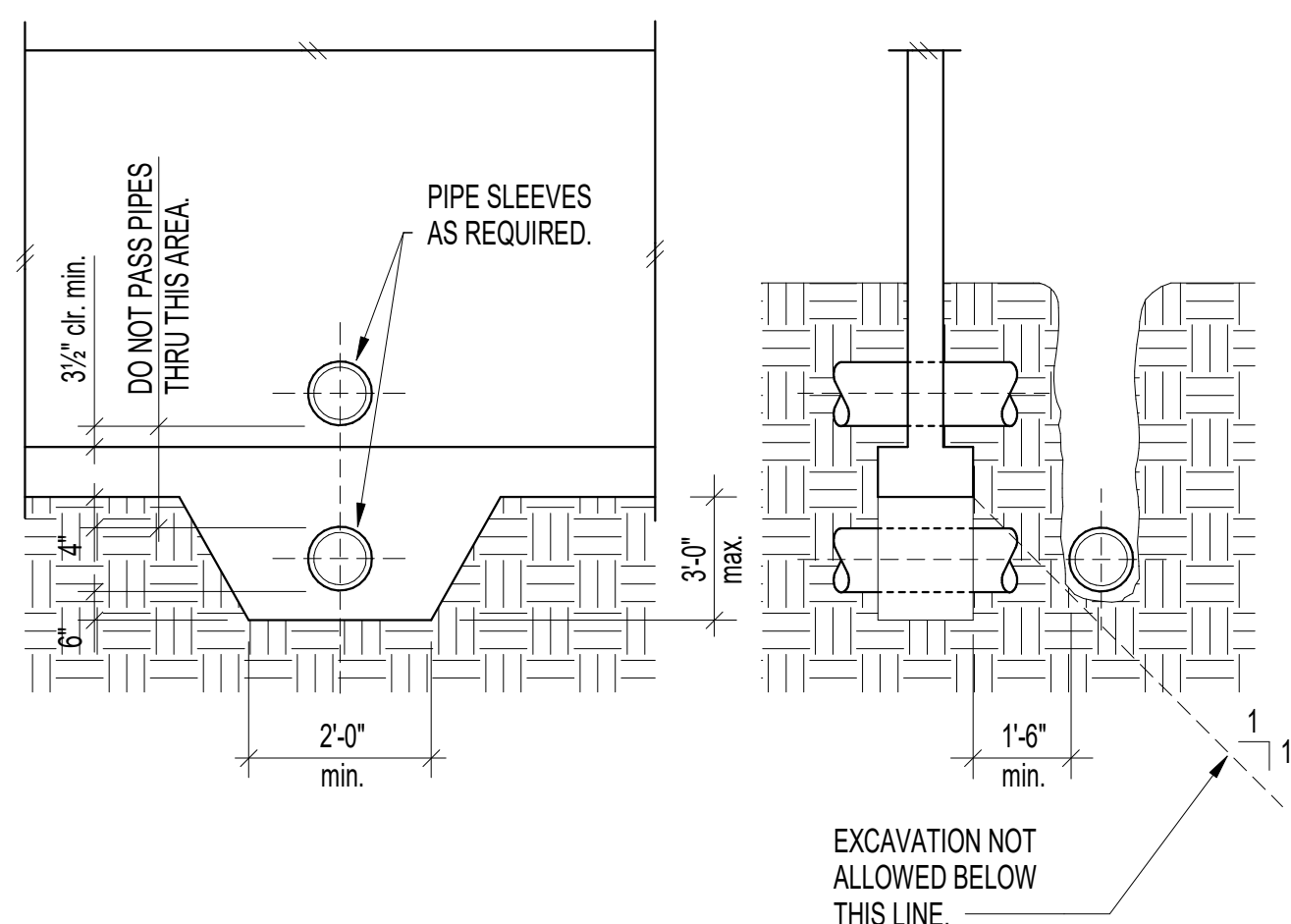
EQUIVALENT FLUID PRESSURE = 60 PCF

LATERAL EARTH PRESSURE (SEISMIC) = 8H

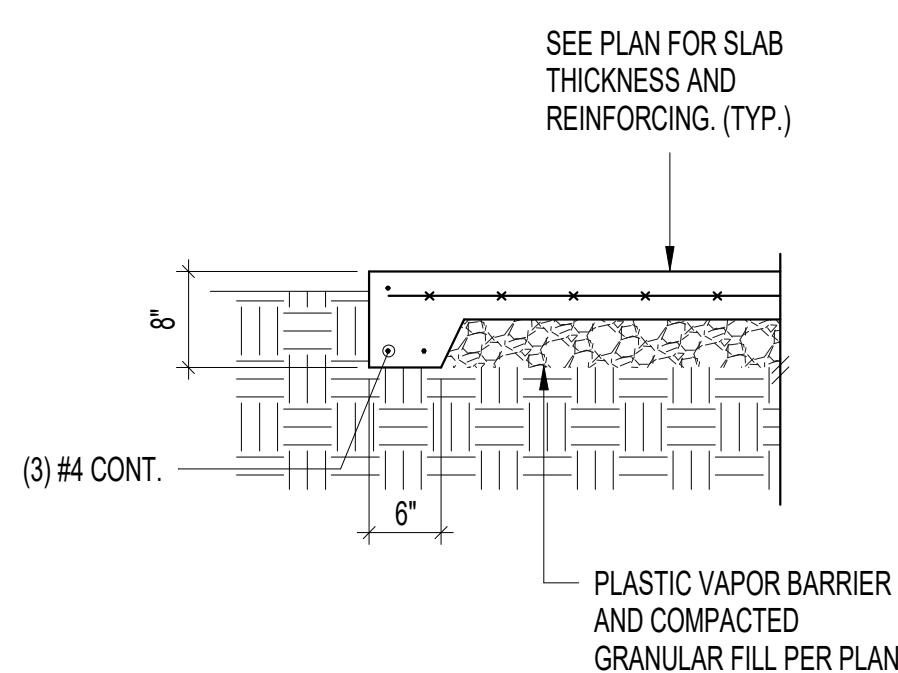
MINIMUM ALLOWABLE BEARING = 2,000 PSF

COEFFICIENT OF FRICTION = 0.25

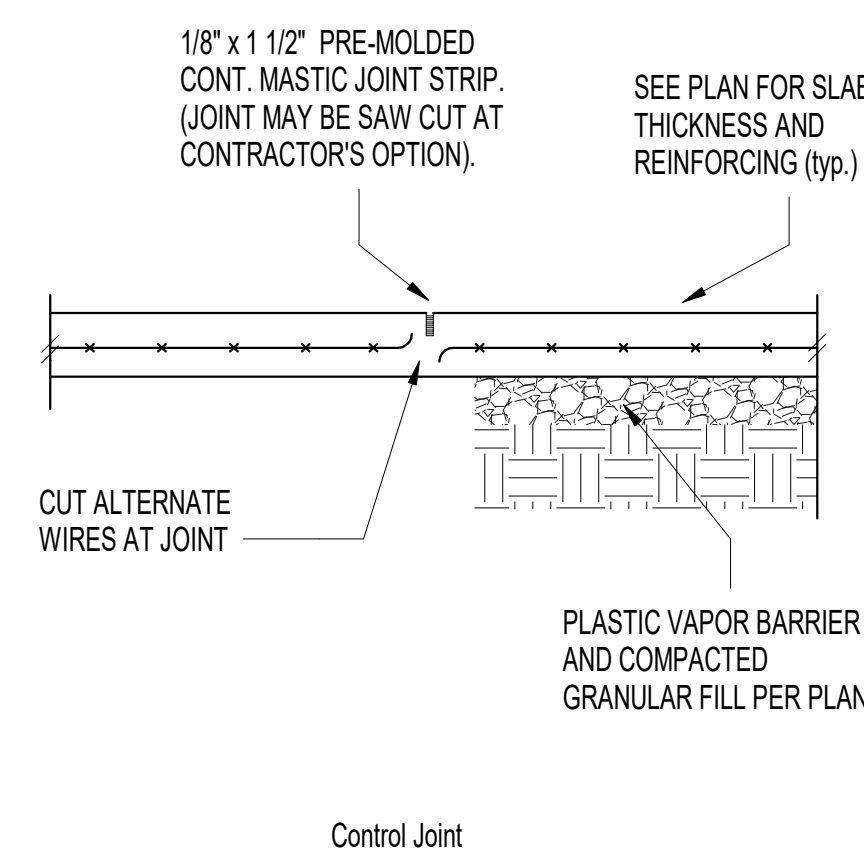
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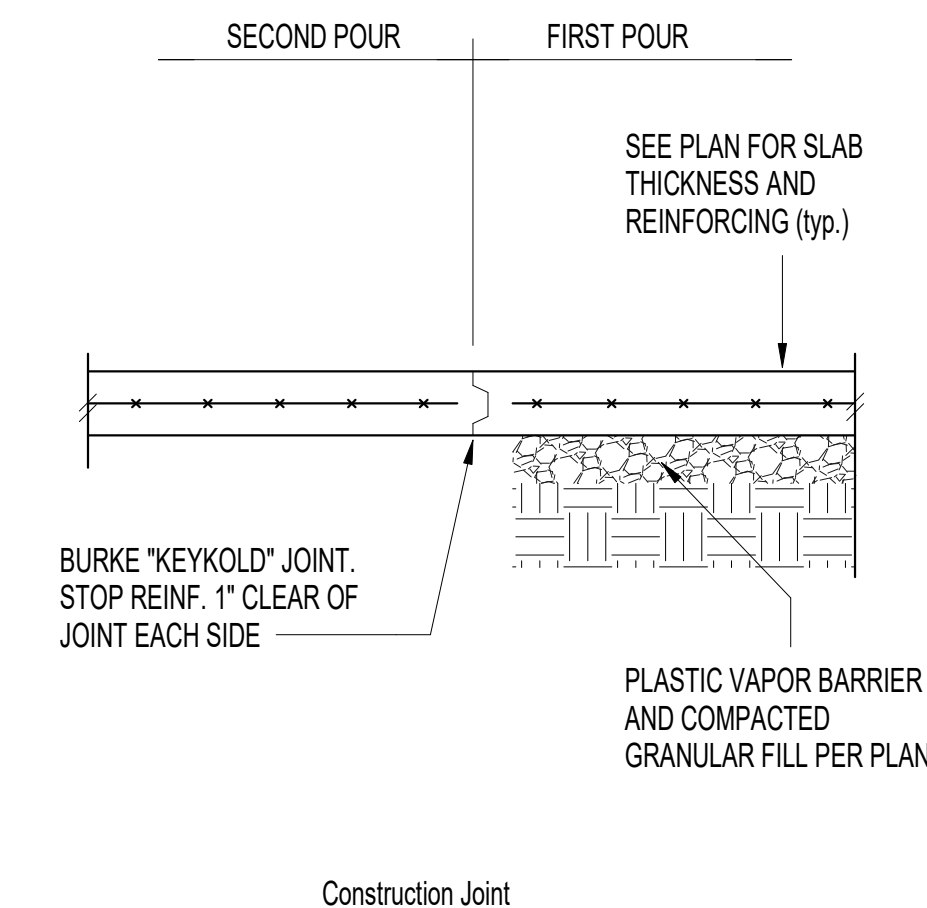
Pipe and Trench Location Conditions 5



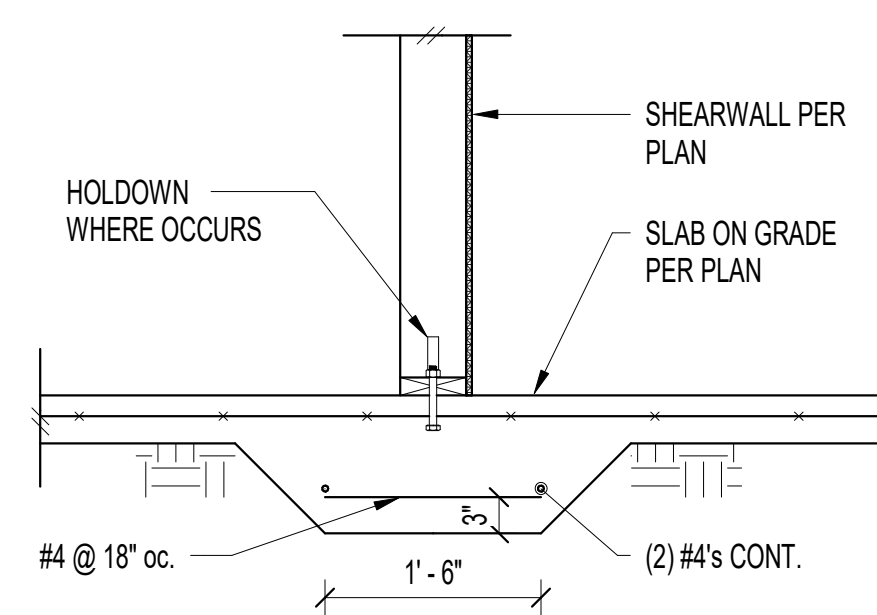
Typical Slab Edge 6



PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 400 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

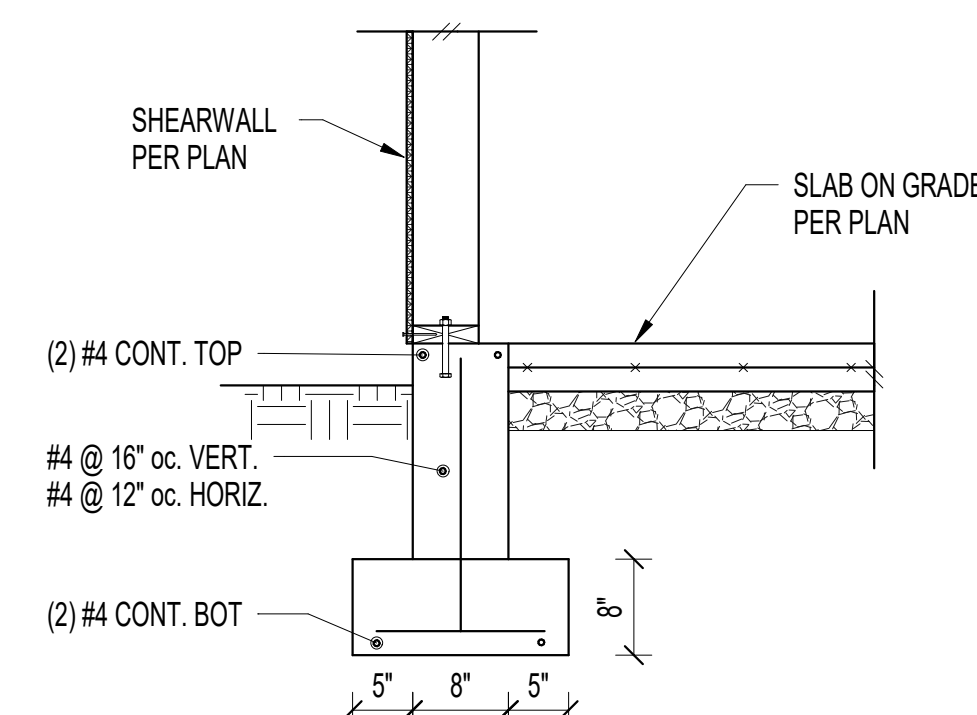


Typical Slab Joints 8



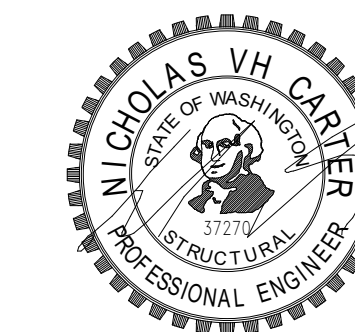
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11

12



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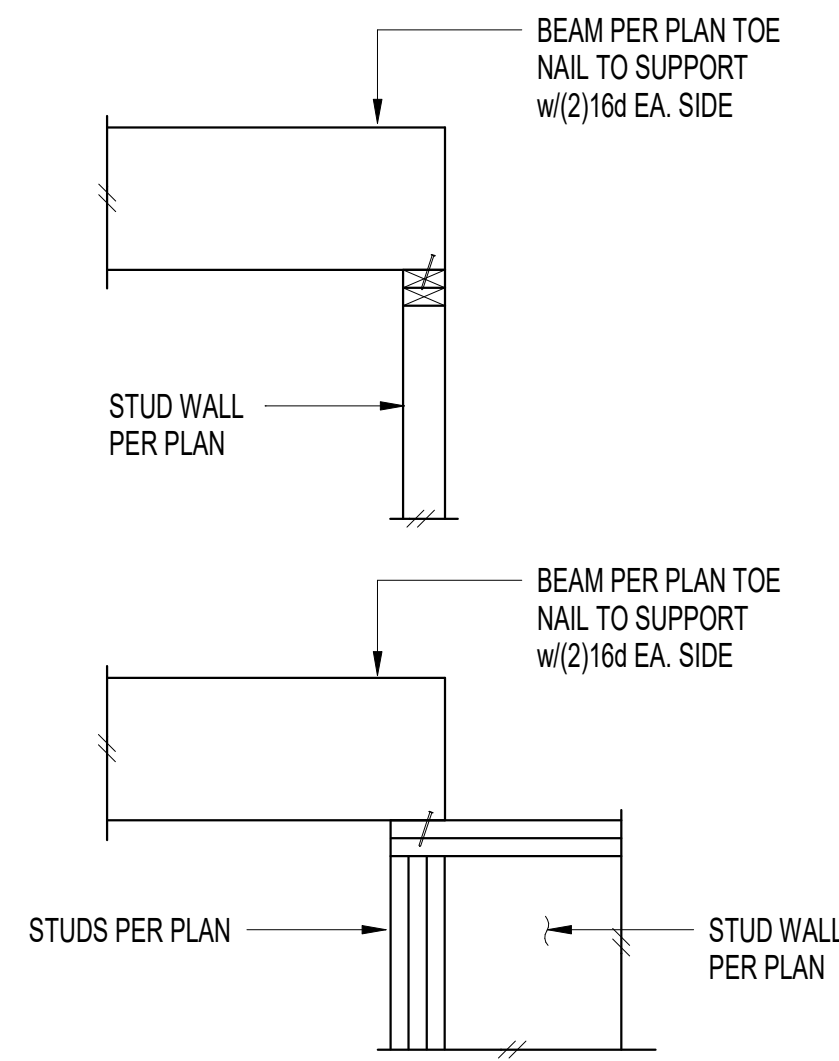
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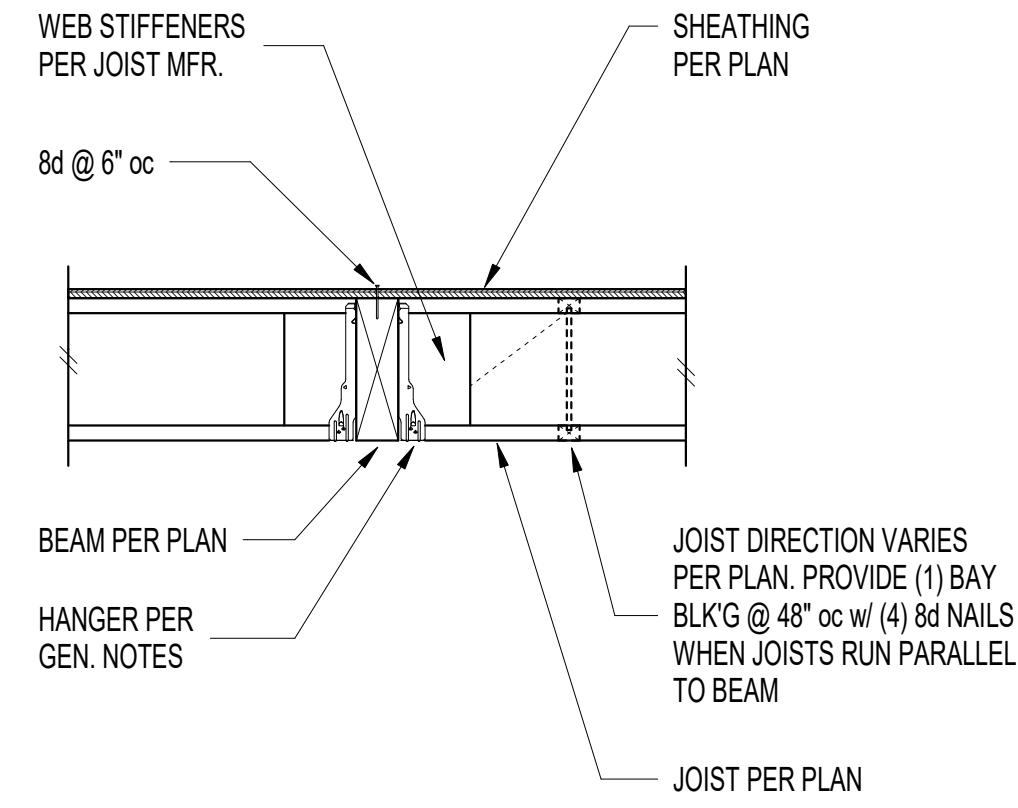
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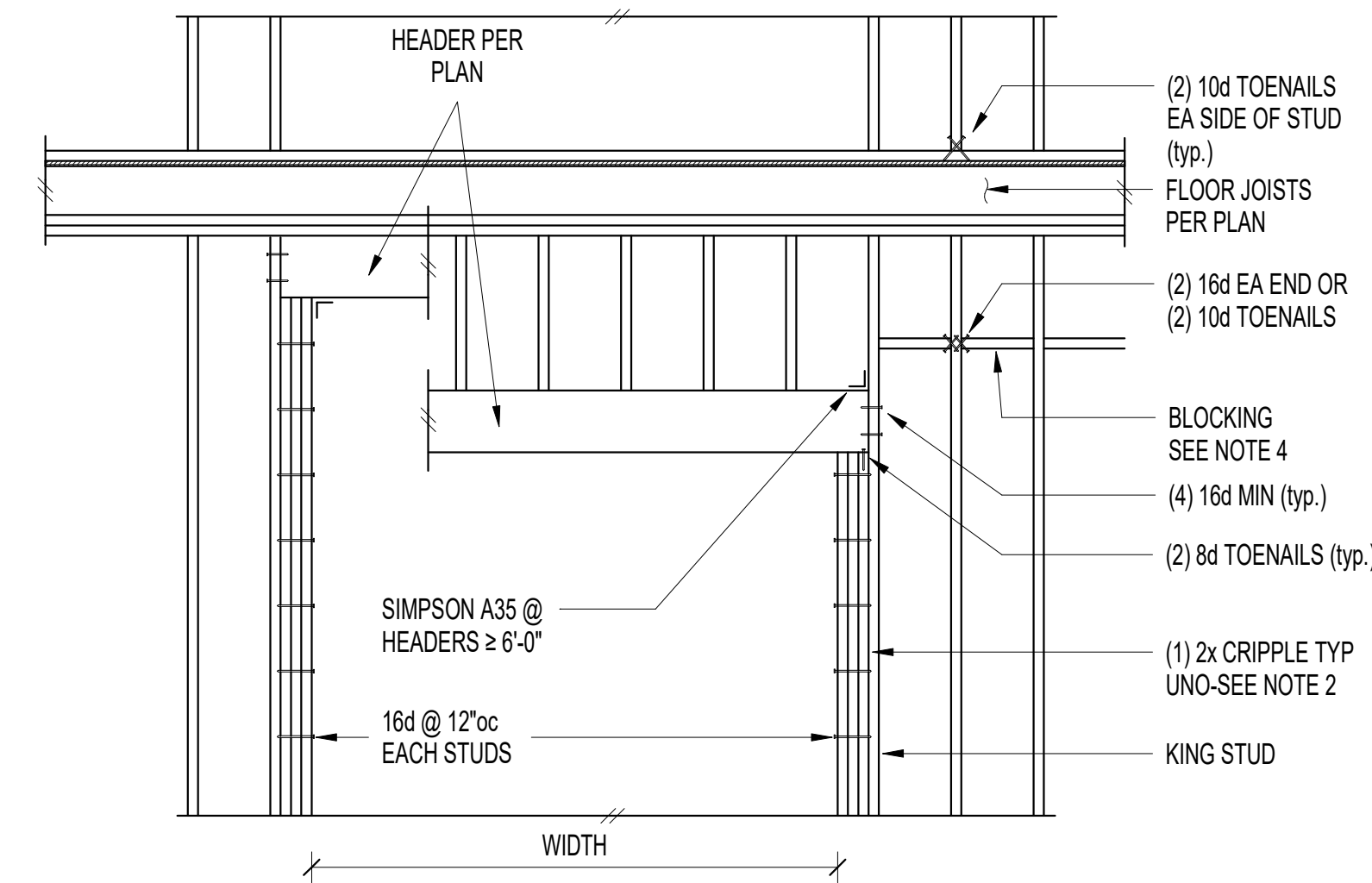
S3.0



Typical Beam To Stud Connection 1

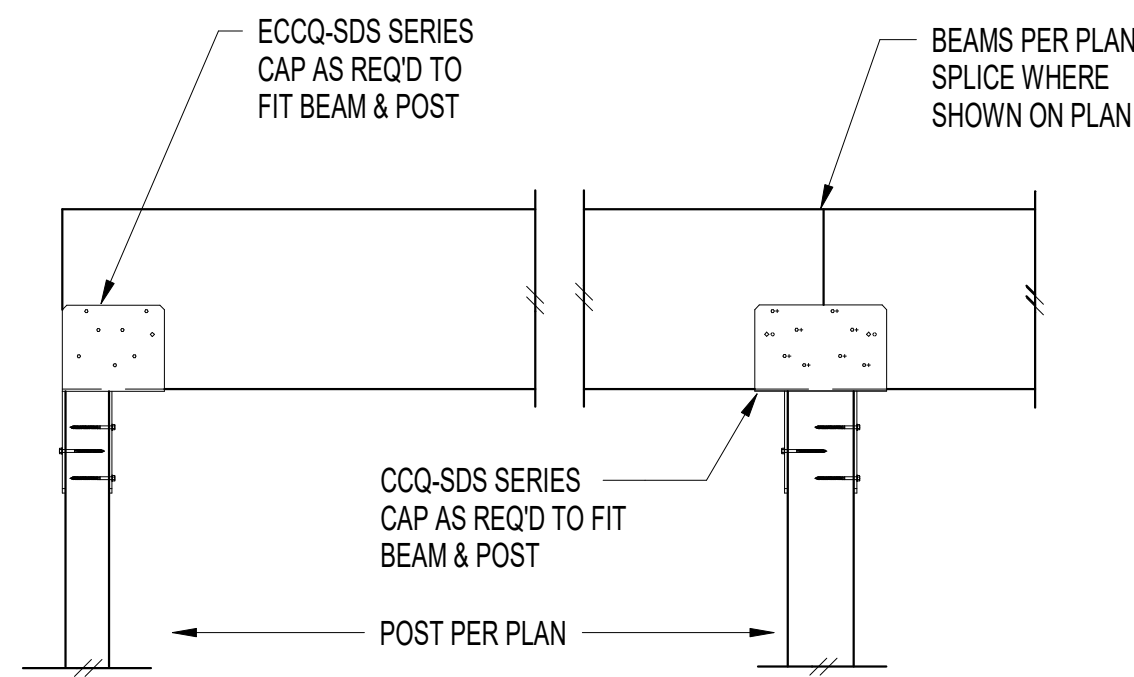


Typical Beam 2



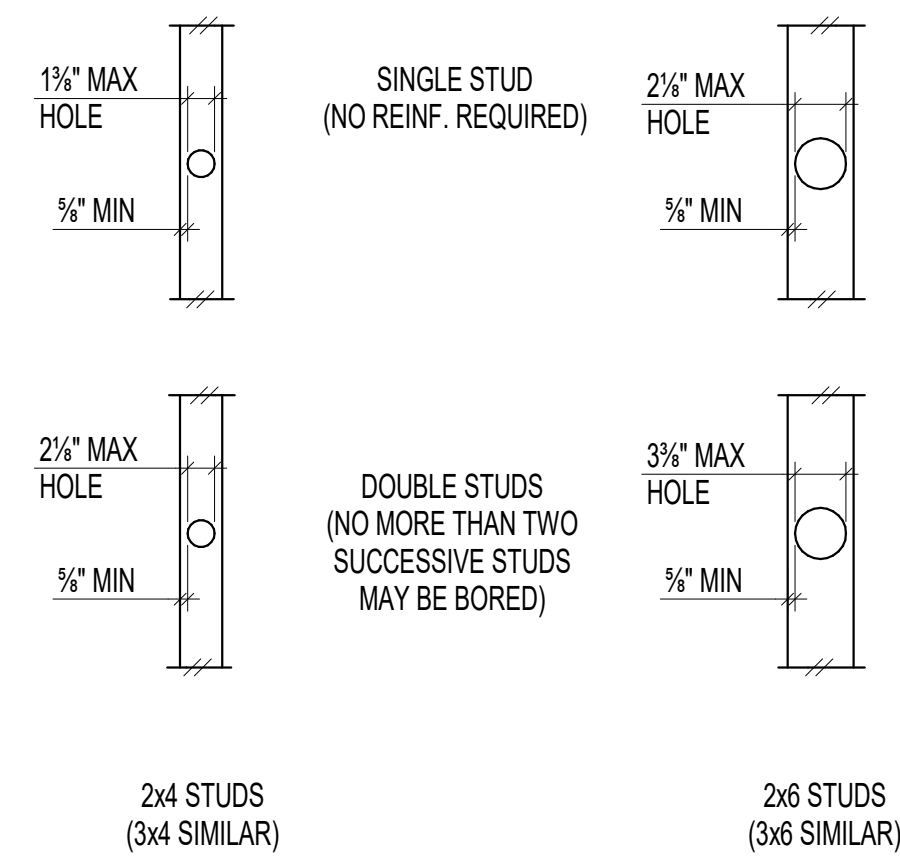
- NOTES:
1. HEADERS PER PLAN
 2. PROVIDE (1) 2x CRIPPLE STUDS MINIMUM TYPICAL, U.O.N.
 3. SEE ARCHITECTURAL DRAWINGS FOR OPENING SIZES AND LOCATIONS
 4. 2x SOLID BLOCKING REQUIRED AT CEILING LINE, ALL PANEL EDGES, AND @ 8'-0"oc MAX.

Typical Wall Opening Framing Elevation 4



Typical Beam To Isolated Post Connection 5

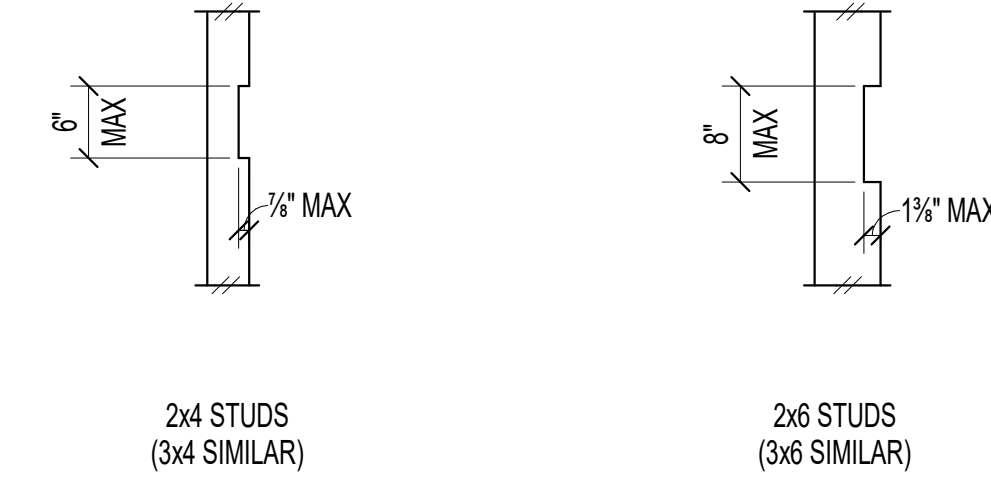
NOTE: BORED HOLES SHALL NOT BE LOCATED @ THE SAME SECTION OF STUD AS A NOTCH.



NOTE: BORED HOLES SHALL NOT BE LOCATED @ THE SAME SECTION OF STUD AS A NOTCH.

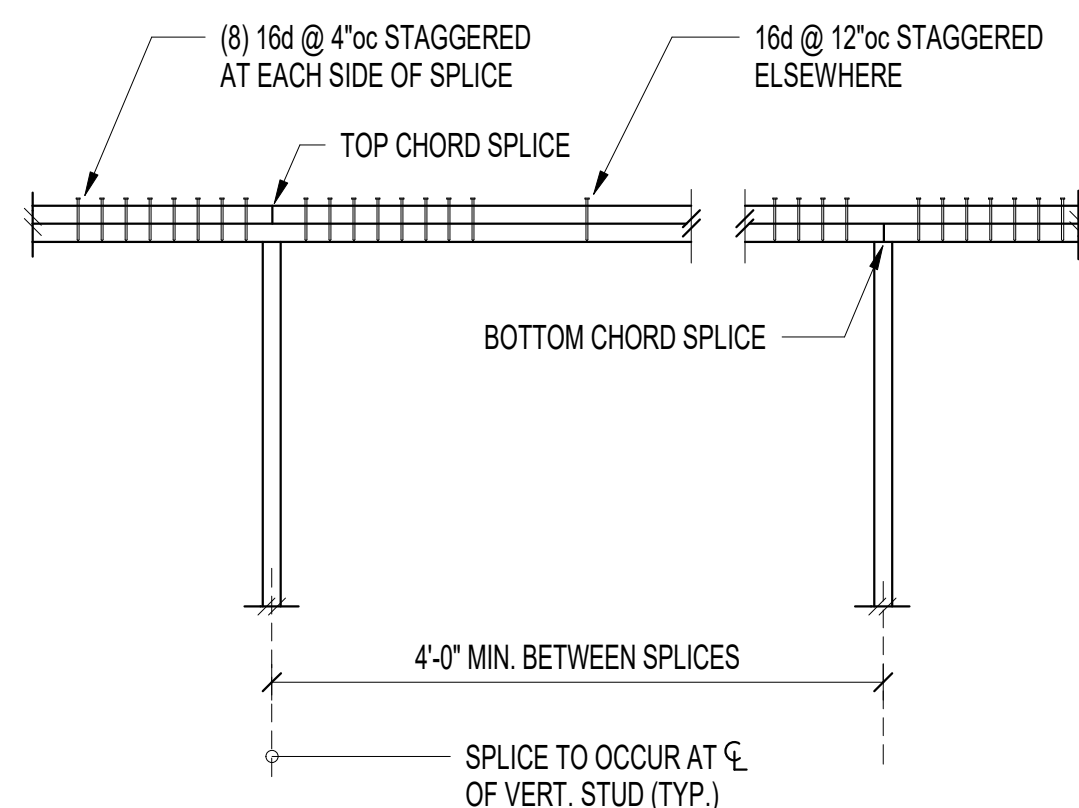
Holes Allowed Through Studs 7

NOTE: NOTCHES SHALL NOT OCCUR IN MORE THAN (2) SUCCESSIVE STUDS

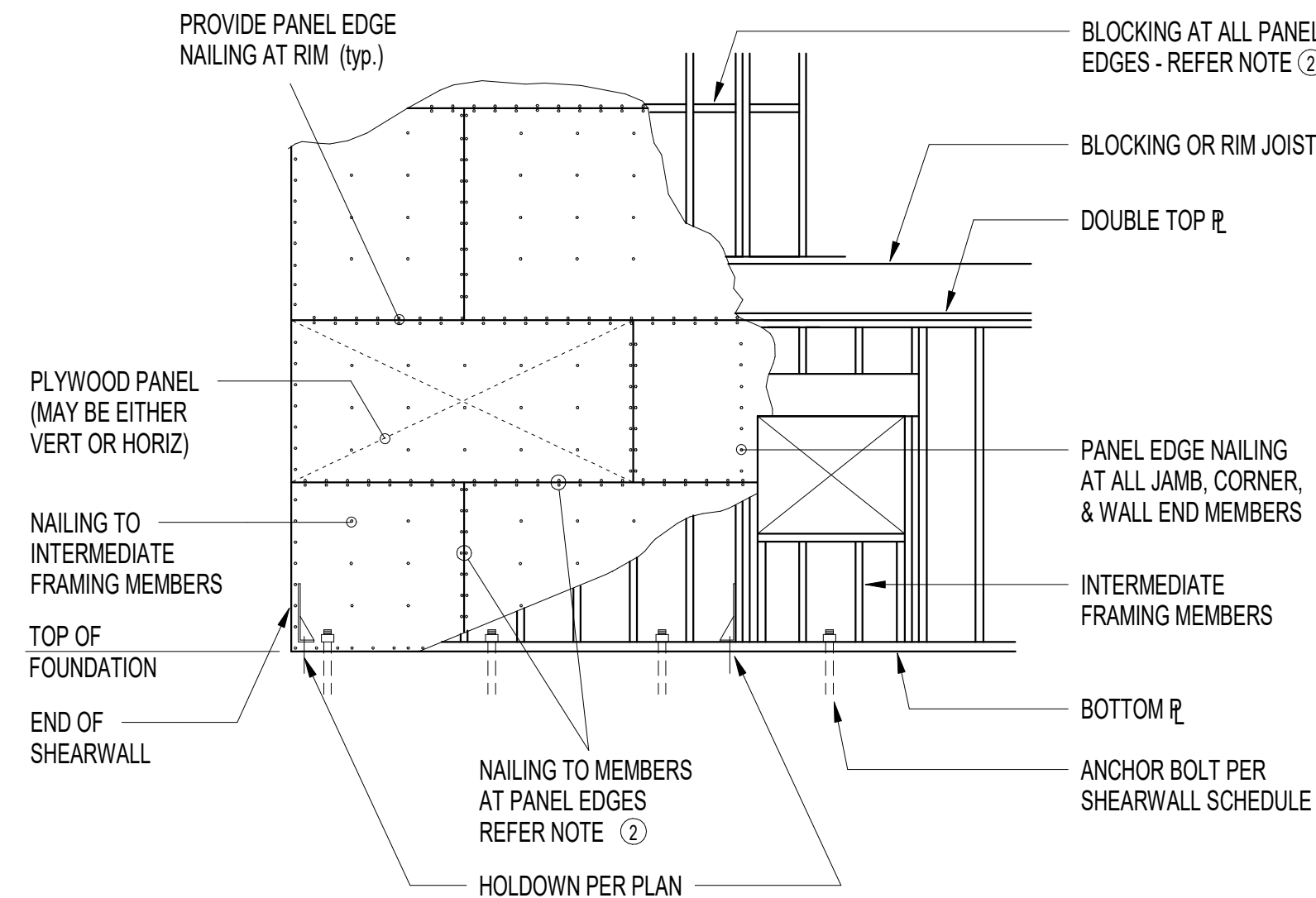


ANY NOTCH OR HOLE THRU STUDS EXCEEDING ABOVE DETAIL SHALL GET E.O.R. APPROVAL FOR POSSIBLE REINFORCING REQUIREMENTS PRIOR TO DRILLING/NOTCHING

Allowable Notches in Studs 8

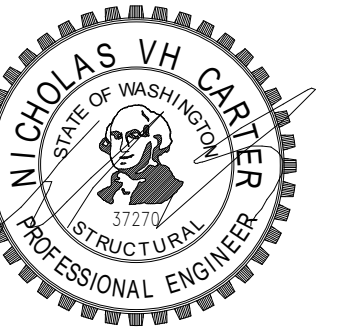


Typical Top Plate Splice - Side View 9



#SW#	SHEATHING	BLOCKING	PANEL EDGE NAILING (1)	ATTACHMENT TO TOP PLATE (3)	BOTTOM PLATE ATTACHMENT			CAPACITY (plf) SEISMIC
					LSL RIM JOIST REQ'D.	FACENAILING TO WOOD BELOW (5)	ANCHOR BOLTING TO CONC. BELOW (6)	
					1 1/2" LSL	NAILS @ 6" oc	5/8" @ 48" oc	
1SW1	15/32" APA RATED SHEATHING	YES	8d @ 6" oc	CLIP @ 24" oc	1 1/2" LSL	NAILS @ 6" oc	5/8" @ 48" oc	240 PLF

- (1) NAILS SHALL BE 8d OR 10d COMMON. NAILING APPLIES TO ALL PANEL EDGES (BLOCK ALL UNSUPPORTED PANEL EDGES), TOP & BOTTOM PLATES AND BLOCKING. NAIL TO INTERMEDIATE FRAMING MEMBERS w/ 8d OR 10d @ 12" oc. (NOTE: WHERE STUD SPACING IS 24" oc, NAIL TO INTERMEDIATE FRAMING MEMBERS @ 6" oc)
- (2) CLIP SHALL BE EITHER A35 OR LTP4, CLIP MAY BE OMITTED WHEN ADJOINING PANEL EDGES OCCUR @ RIM JOIST AS SHOWN IN ELEVATION.
- (3) NAILS SHALL BE 10d COMMON (0.1480 x 3") SCREWS SHALL BE SIMPSON SDS25500 (1/2" x 5" MIN.)
- (4) PROVIDE 3"x3"x0.229" PLATE WASHER AT ALL ANCHOR BOLTS. ANCHOR BOLTS SHALL BE POSITIONED SUCH THAT PLATE EDGE OF PLATE WASHER IS WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE (PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 13/16" AND A LENGTH NOT TO EXCEED 1 1/2")



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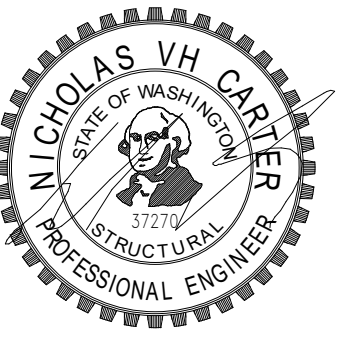
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WOOD DETAILS

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2

3

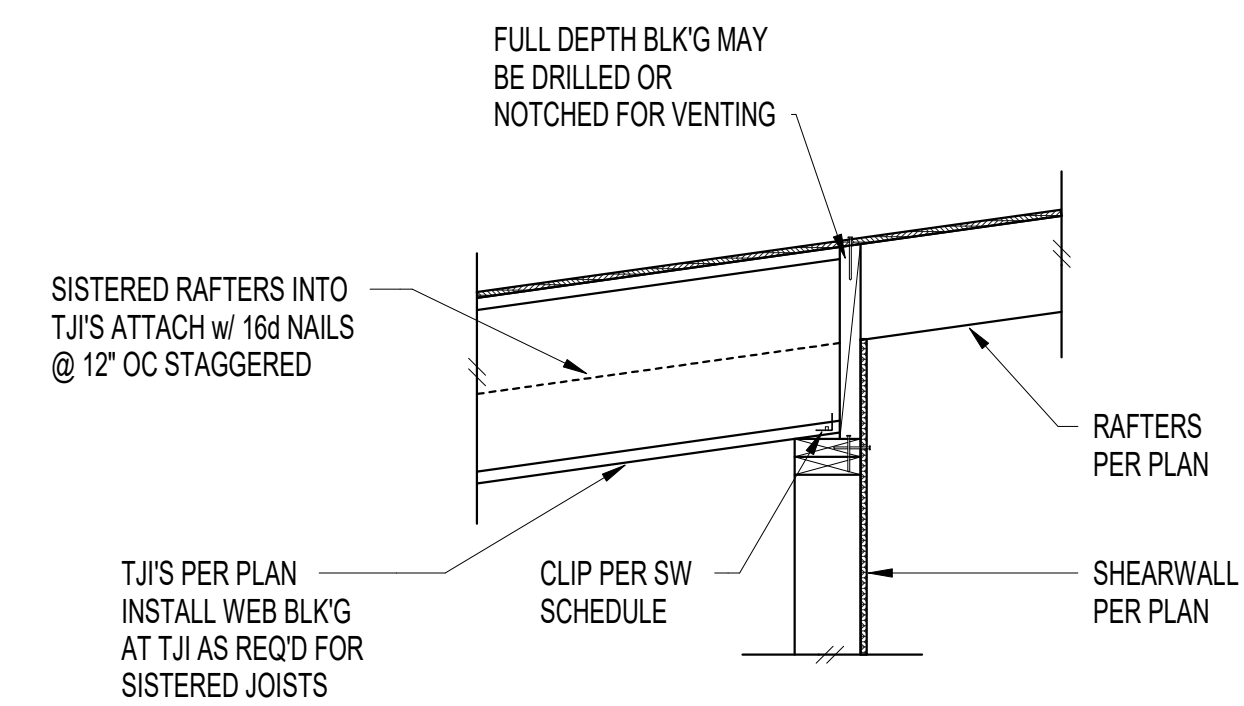
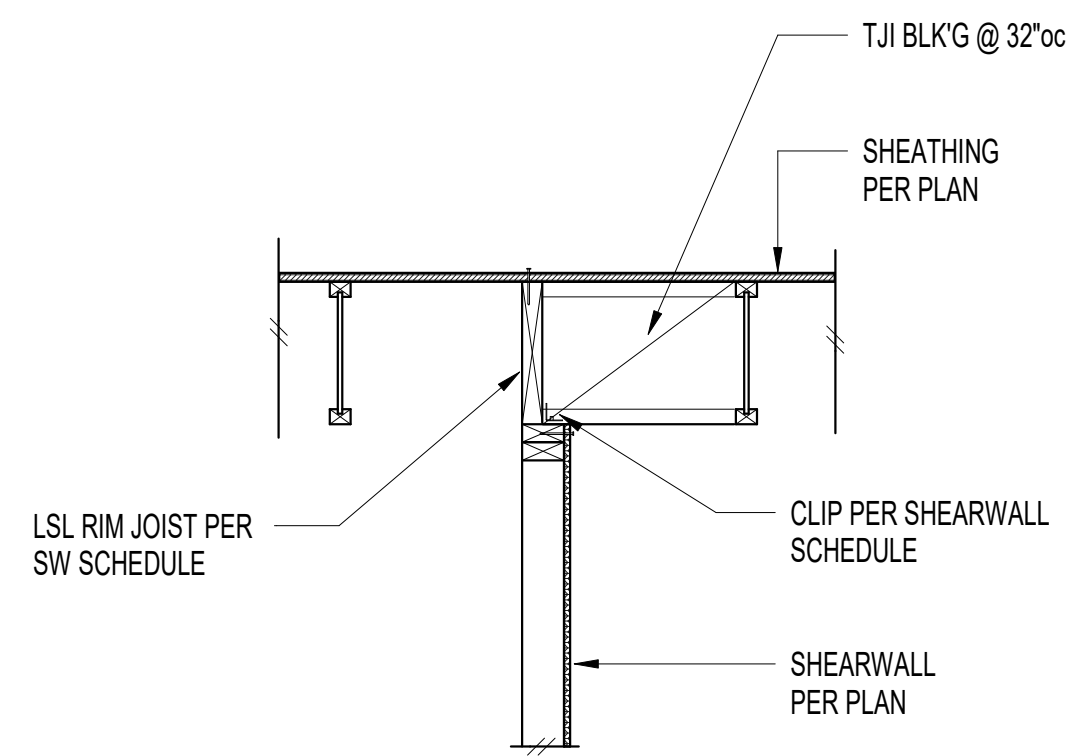
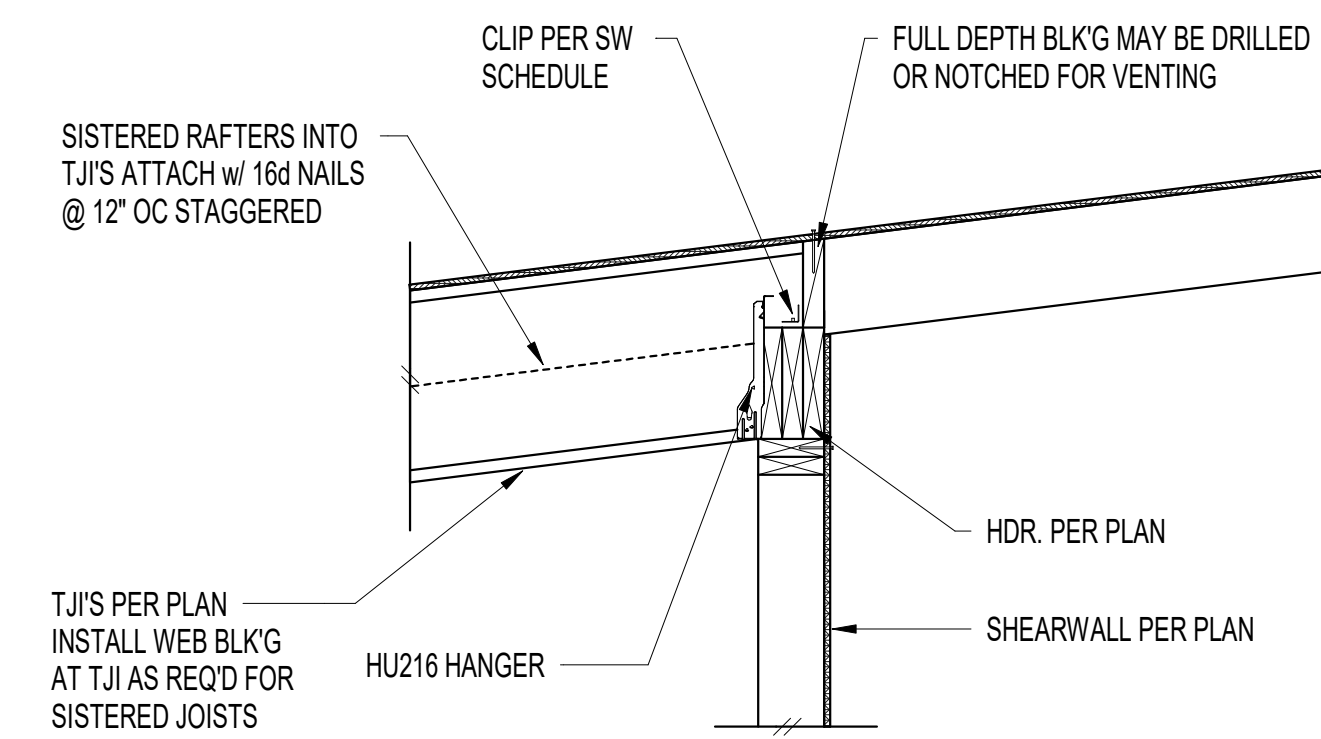
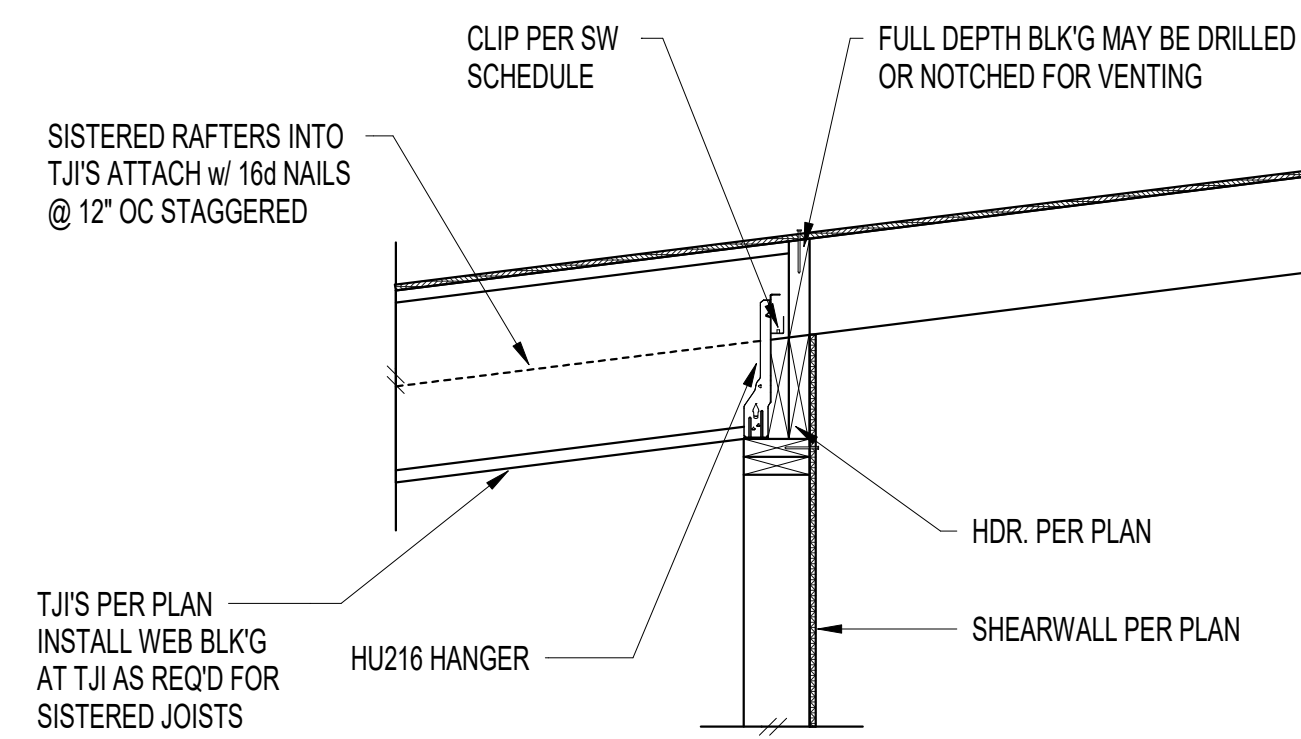
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Non-Bearing Shear Wall Detail 11

12

Date:	Issue Date	Project Status
	10/1/22	Permit Set

IF SHEET IS NOT 24"x36" IT
HAS BEEN RESCALED
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WOOD DETAILS

S6.1